

HILDRETH'S FARM SUBDIVISION

TAX MAP 248 LOT 8

CANTERBURY, NEW HAMPSHIRE

JUNE 3, 2025

MUNICIPAL CONTACTS:

LAND USE ADMINISTRATOR

MICHELLE HAMMOND
10 HACKLEBORO ROAD
CANTERBURY, NEW HAMPSHIRE 03224
(603) 783-9955 ext. 10

FIRE DEPARTMENT

MICHAEL GAMACHE, CHIEF
26 BAPTIST ROAD
CANTERBURY, NEW HAMPSHIRE 03224
(603) 783-4798

POLICE DEPARTMENT

JUSTIN CROTTY, CHIEF
26 BAPTIST ROAD
CANTERBURY, NEW HAMPSHIRE 03224
603-783-0433

BUILDING INSPECTOR

JOEL FRENCH
10 HACKLEBORO ROAD
CANTERBURY, NEW HAMPSHIRE 03224
(603) 783-9033

PROFESSIONAL CONTACTS:

CIVIL ENGINEER

SAMUEL R. FOISIE, PE
MERIDIAN LAND SERVICES, INC.
PO BOX 118
MILFORD, NH 03055
(603) 673-1441

LAND SURVEYOR

KENNETH C. CLINTON, LLSS
MERIDIAN LAND SERVICES, INC.
PO BOX 118
MILFORD, NH 03055
(603) 673-1441

WETLAND SCIENTIST

SPENCER C. TATE, CWS
MERIDIAN LAND SERVICES, INC.
PO BOX 118
MILFORD, NH 03055
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SOIL SCIENTIST

SPENCER C. TATE, CWS
MERIDIAN LAND SERVICES, INC.
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MILFORD, NH 03055
(603) 673-1441

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ATTACHMENTS:

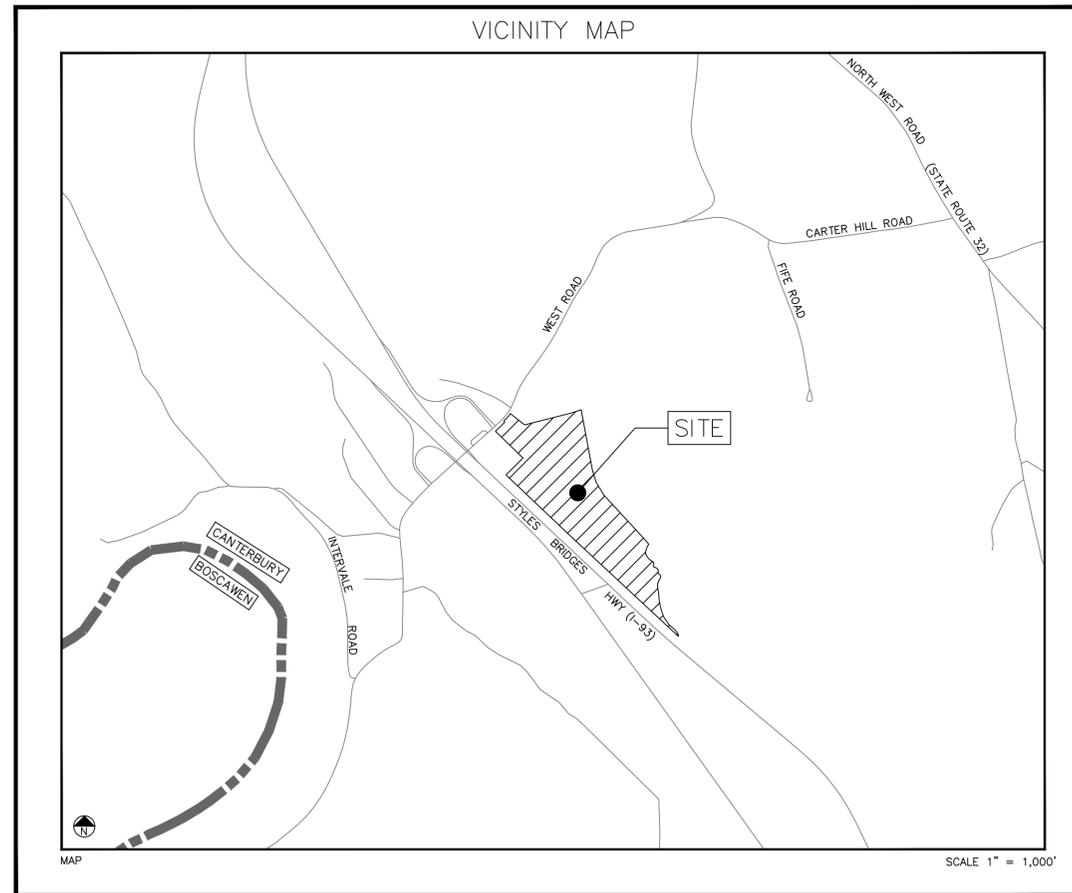
1-3 SD-1 - SD-3 SIGHT DISTANCE PLANS & PROFILES

* INDICATES RECORDED PLAN SHEETS

PERMITS/APPROVALS:

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING APPROVALS:

- CANTERBURY MAJOR SUBDIVISION [APPROVED 11/4/2026]
- CANTERBURY CUP-FOR CLUSTER SUBDIVISION [APPROVED 11/4/2026]
- NHDOT DRIVEWAY PERMIT [SUBMITTED]
- NHDOT EXCAVATION PERMIT
- NHDES ALTERATION OF TERRAIN (AOT) [SUBMITTED]
- NHDES STATE SUBDIVISION APPROVAL
- NHDES STANDARD DREDGE & FILL [SUBMITTED]
- NHDES INDIVIDUAL SEWAGE DISPOSAL SYSTEM [PENDING]
- NHDES PWS [PENDING]



OWNER'S SIGNATURE:

OWNER _____ DATE _____

OWNER/ APPLICANT:
114 WEST ROAD LLC
709 KEITH AVE
PEMBROKE, NEW HAMPSHIRE 03275

Issued For: FINAL PLANNING BOARD SIGNATURE
FEBRUARY 24, 2026

APPROVED BY CANTERBURY PLANNING BOARD
ON: _____ CERTIFIED BY _____ AND
CHAIRMAN: _____ SECRETARY: _____

MERIDIAN DESIGN PROFESSIONALS:

LLS	PE	CWS	CSS
-----	----	-----	-----

REV.	DATE	DESCRIPTION	DR	CK
I	--	--	--	--
H	--	--	--	--
G	--	--	--	--
F	--	--	--	--
E	2/11/26	TOWN COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
B	9/18/25	PB COMMENT RESPONSES	JJA	SRF
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF

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SOIL & WETLAND MAPPING | SEPTIC DESIGN
31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
MERIDIANLANDSERVICES.COM FAX 603-673-1584

Plotted: 2/19/2026 11:34 AM By: JJA
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REFERENCE PLAN:

"SUBDIVISION / LOT LINE ADJUSTMENT - TAX MAP 248 LOT 9 & 8 - 114 & 188 WEST ROAD CANTERBURY, NH". PREPARED FOR 114 WEST ROAD, LLC & HAROLD F. FRENCH, SCALE: 1"=100', DATED MAY 2, 2023, PREPARED BY J.E. BELANGER LAND SURVEYING, AND RECORDED AT THE M.C.R.D. AS PLAN #202300010053.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING OBSERVABLE IMPROVEMENTS ON TAX MAP #248 LOT #8.
2. THE CURRENT OWNER OF RECORD FOR LOT 248-8 IS 114 WEST ROAD, LLC, 938 CLEMENT HILL ROAD, HOPKINGTON, NEW HAMPSHIRE 03229. SEE M.C.R.D. BK.3802 PG.2495 DATED 9/5/2023.
3. PER THE TOWN OF CANTERBURY ZONING ORDINANCE, LOTS WITHIN THE COMMERCIAL DISTRICT MUST HAVE A MINIMUM LOT SIZE OF 1 ACRE, A MINIMUM DEPTH OF 150 FEET, A MINIMUM WIDTH OF 200 FEET AND SETBACKS OF 50 FEET FRONT AND SIDE / REAR OF 20 FEET.
4. LOT 248-8 LIES WITHIN THE AQUIFER PROTECTION DISTRICT AND THE

GROUNDWATER PROTECTION DISTRICT. ADDITIONAL RESTRICTIONS NOT SHOWN OR NOTED HEREON MAY APPLY.

5. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN NOTED AND PHYSICAL EVIDENCE RECORDED DURING A FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF APRIL 2025.
6. TOPOGRAPHIC DETAIL SHOWN HEREON IS BASED UPON AN ACTUAL SURVEY PERFORMED BY THIS OFFICE, SUPPLEMENTED WITH NH GRANIT LIDAR DATA, AERIAL IMAGERY, AND ONLINE GIS SOURCES.
7. HORIZONTAL ORIENTATION IS BASED UPON NH STATE PLANE

COORDINATE SYSTEM NAD83 AND VERTICAL DATUM IS NAVD88.

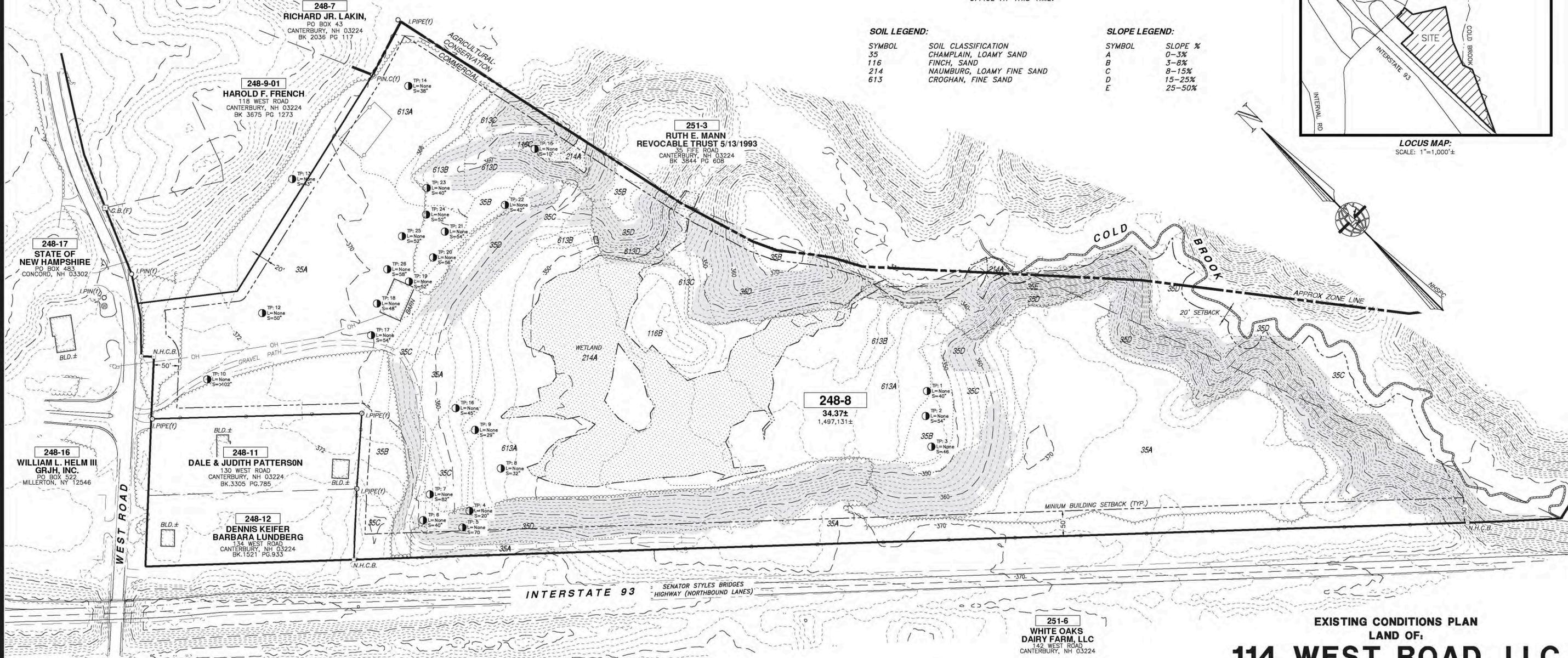
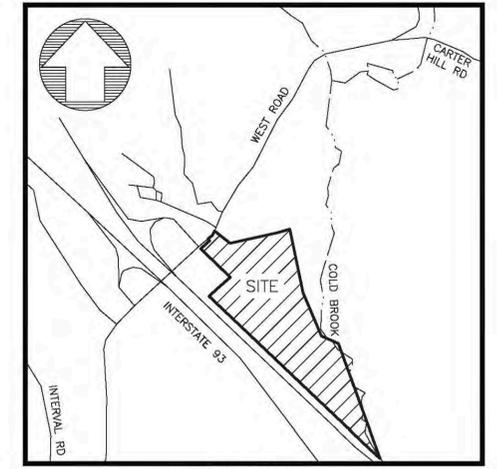
8. PER FEMA FIRM PANEL #33013C0330E EFFECTIVE DATE 4/19/2010, A PORTION OF LOT 248-8 LIES WITHIN FLOOD ZONE A WHILE THE REMAINING LIES WITHIN ZONE X.
9. WETLANDS SHOWN HEREON WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 AND THE NORTHEAST REGIONAL SUPPLEMENT, BY SPENCER C. TATE C.W.S. / C.S.S. OF THIS OFFICE DURING THE MONTH OF APRIL 2025.
10. NO UNDERGROUND UTILITY INVESTIGATION WAS PERFORMED BY THIS OFFICE AT THIS TIME.

SOIL LEGEND:

SYMBOL	SOIL CLASSIFICATION
35	CHAMPLAIN, LOAMY SAND
116	FINCH, SAND
214	NAUMBURG, LOAMY FINE SAND
613	CROGHAN, FINE SAND

SLOPE LEGEND:

SYMBOL	SLOPE %
A	0-3%
B	3-8%
C	8-15%
D	15-25%
E	25-50%



248-17
STATE OF NEW HAMPSHIRE
PO BOX 483
CONCORD, NH 03302

248-9-01
HAROLD F. FRENCH
118 WEST ROAD
CANTERBURY, NH 03224
BK 3675 PG 1273

248-7
RICHARD JR. LAKIN,
PO BOX 43
CANTERBURY, NH 03224
BK 2036 PG 117

251-3
RUTH E. MANN
REVOCABLE TRUST 5/13/1993
35 WEST ROAD
CANTERBURY, NH 03224
BK 3844 PG 608

248-8
34.37±
1,497,131±

248-16
WILLIAM L. HELM III
GRJH, INC.
PO BOX 522
MILLERTON, NY 12546

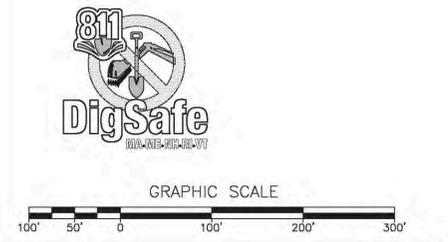
248-11
DALE & JUDITH PATTERSON
130 WEST ROAD
CANTERBURY, NH 03224
BK.3305 PG.785

248-12
DENNIS KEIFER
BARBARA LUNDBERG
154 WEST ROAD
CANTERBURY, NH 03224
BK.1521 PG.933

251-6
WHITE OAKS
DAIRY FARM, LLC
142 WEST ROAD
CANTERBURY, NH 03224

EXISTING CONDITIONS PLAN
LAND OF:
114 WEST ROAD, LLC
TAX MAP 248 LOT 8
114 WEST ROAD
CANTERBURY, NEW HAMPSHIRE
SCALE: 1" = 100' JANUARY 15, 2026

MERIDIAN
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MERIDIANLANDSERVICES.COM FAX 603-673-1584



LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- ABUTTING LOT LINE
- FORMER LOT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- EXISTING OH ELECTRIC LINE
- EDGE OF WETLANDS
- EDGE OF WATER
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- EXISTING TREE LINE
- EXISTING TAX MAP AND LOT NUMBER
- EXISTING BUILDING
- EXISTING GRANITE BOUND FOUND
- EXISTING DRILL HOLE FOUND/SET
- EXISTING IRON PIPE FOUND
- EXISTING CATCH BASIN SQUARE
- EXISTING UTILITY POLE & GUY WIRE
- EXISTING SINGLE POST SIGN
- EXISTING WELL
- TEST PIT WITH DATA
- TEST PIT NUMBER
- DEPTH-EDGE FOUND
- DEPTH-SEASONAL HIGH WATER FOUND
- EXISTING BOXWIRE FENCE LINE
- U.S.D.A. SOILS BOUNDARY

CERTIFICATION:

"I HEREBY CERTIFY THAT THE EXISTING OBSERVABLE IMPROVEMENTS SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF MARCH 2025".

REV.	DATE	DESCRIPTION	C/O	DR	CK
D	--	--	--	--	--
C	--	--	--	--	--
B	--	--	--	--	--
A	--	--	--	--	--

NOTES:

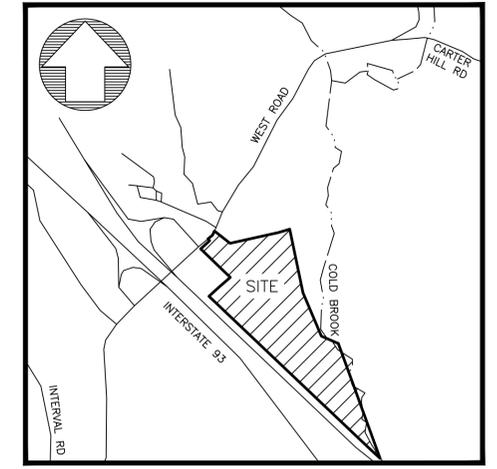
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE DESIGN OF A 26 UNIT RESIDENTIAL AND A 3 COMMERCIAL UNIT CLUSTER SUBDIVISION ON TAX MAP #248 LOT #8.
2. THE CURRENT OWNER OF RECORD FOR LOT 248-8 IS 114 WEST ROAD, LLC, 938 CLEMENT HILL ROAD, HOPKINGTON, NEW HAMPSHIRE 03229. SEE M.C.R.D. BK.3802 PG.2495 DATED 9/5/2023.
3. PER THE TOWN OF CANTERBURY ZONING ORDINANCE, LOTS WITHIN THE COMMERCIAL DISTRICT MUST HAVE A MINIMUM LOT SIZE OF 1 ACRE, A MINIMUM DEPTH OF 150 FEET, A MINIMUM WIDTH OF 200 FEET AND SETBACKS OF 50 FEET FRONT AND SIDE / REAR OF 20 FEET.
4. LOT 248-8 LIES WITHIN THE AQUIFER PROTECTION DISTRICT AND THE GROUNDWATER PROTECTION DISTRICT.

- ADDITIONAL RESTRICTIONS NOT SHOWN OR NOTED HEREON MAY APPLY.
5. THE DEVELOPMENT WILL BE ACCESSED BY A PRIVATE ROAD AND SERVED BY INDIVIDUAL & SHARED SEPTIC SYSTEMS. ELECTRIC, TELEPHONE & CABLE UTILITIES, PENNICHUCK WATER AND LIBERTY UTILITIES NATURAL GAS WILL BE UNDERGROUND. ALL UNITS SHALL BE PROTECTED BY SPRINKLER SYSTEMS.
 6. THE SIZE AND ORIENTATION OF THE POTENTIAL UNITS BUILDING BOXES SHOWN HEREON ARE SUBJECT TO CHANGE.
 7. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON REFERENCE PLAN NOTED AND PHYSICAL EVIDENCE RECORDED DURING A FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH OF

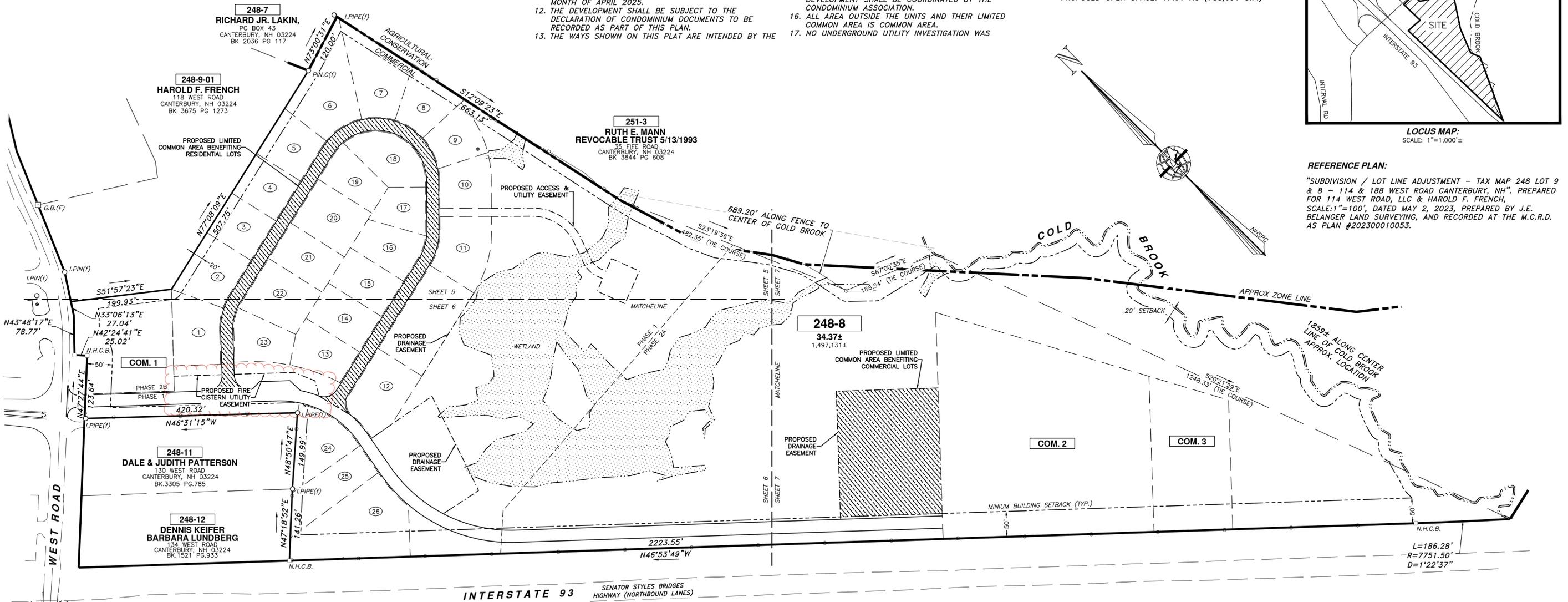
- APRIL 2025.
8. THE PARCEL IS NOT SUBJECT TO / OR HAS THE BENEFIT OF RECORDED EASEMENTS OR RESTRICTIONS.
 9. HORIZONTAL ORIENTATION IS BASED UPON NH STATE PLANE COORDINATE SYSTEM NAD83 AND VERTICAL DATUM IS NAVD88.
 10. PER FEMA FIRM PANEL #33013C0330E EFFECTIVE DATE 4/19/2010, A PORTION OF LOT 248-8 LIES WITHIN FLOOD ZONE A WHILE THE REMAINING LIES WITHIN ZONE X.
 11. WETLANDS SHOWN HEREON WERE DELINEATED IN ACCORDANCE WITH THE ARMY CORPS OF ENGINEERS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 AND THE NORTHEAST REGIONAL SUPPLEMENT, BY SPENCER C. TATE C.W.S. / C.S.S. OF THIS OFFICE DURING THE MONTH OF APRIL 2025.
 12. THE DEVELOPMENT SHALL BE SUBJECT TO THE DECLARATION OF CONDOMINIUM DOCUMENTS TO BE RECORDED AS PART OF THIS PLAN.
 13. THE WAYS SHOWN ON THIS PLAT ARE INTENDED BY THE

- SUBDIVIDER TO REMAIN PRIVATE WAYS. THE RECORDING OF THIS PLAN SHALL NOT BE CONSTRUED AS AN OFFER OF DEDICATION OF THOSE WAYS AS PUBLIC HIGHWAYS UNDER THE NEW HAMPSHIRE COMMON LAW OF DEDICATION AND ACCEPTANCE, NOW SHALL THE APPROVAL OF THIS PLAT CONSTITUTE AND APPROVAL OF THOSE WAYS PURSUANT TO RSA 674:40.
14. THE SUBDIVISION REGULATIONS OF THE TOWN OF CANTERBURY ARE PART OF THIS PLAT, AND APPROVAL OF THIS PLAT IS CONTINGENT ON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.
 15. ROAD AND LANDSCAPE MAINTENANCE OF THE DEVELOPMENT SHALL BE COORDINATED BY THE CONDOMINIUM ASSOCIATION.
 16. ALL AREA OUTSIDE THE UNITS AND THEIR LIMITED COMMON AREA IS COMMON AREA.
 17. NO UNDERGROUND UTILITY INVESTIGATION WAS

- PERFORMED BY THIS OFFICE AT THIS TIME.
18. UNIT CALCULATION:
GROSS PROPERTY AREA: 34.37 AC (1,497,131 S.F.)
WETLAND AREA: 5.09 AC (221,541 S.F.)
NET TRACT AREA: 32.17 AC (1,401,656 S.F.)
DENSITY: 1 UNIT PER AC
BONUS DENSITY: 15%
ALLOWABLE UNITS: 32.17 UNITS + 4.83 UNITS = 37 UNITS
 19. OPEN SPACE CALCULATION:
REQUIRED OPEN SPACE PERCENTAGE: 50%
EXISTING LOT AREA: 34.37 AC (1,497,131 S.F.)
ADDITIONAL LOT AREA: 0.476 AC (20,752 S.F.)
REQUIRED OPEN SPACE: 17.18 AC (748,566 S.F.)
PROPOSED OPEN SPACE: 17.91 AC (788,651 S.F.)



REFERENCE PLAN:
"SUBDIVISION / LOT LINE ADJUSTMENT - TAX MAP 248 LOT 9 & 8 - 114 & 188 WEST ROAD CANTERBURY, NH". PREPARED FOR 114 WEST ROAD, LLC & HAROLD F. FRENCH. SCALE: 1"=100', DATED MAY 2, 2023, PREPARED BY J.E. BELANGER LAND SURVEYING, AND RECORDED AT THE M.C.R.D. AS PLAN #202300010053.



LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN / ZONE LINE
- ABUTTING LOT LINE
- TIE COURSE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EDGE OF PAVEMENT
- EDGE OF WETLANDS
- EDGE OF WATER
- EXISTING CHAINLINK FENCE LINE
- EXISTING GRANITE BOUND FOUND
- EXISTING DRILL HOLE FOUND/SET
- EXISTING IRON PIPE FOUND
- EXISTING TAX MAP AND LOT NUMBER

PROPOSED LEGEND:

- LIMITED COMMON AREA LINE
- BUILDING TIE COURSE
- MATCHLINE
- PHASE 1
- RESIDENTIAL LOT NUMBER
- COMMERCIAL LOT NUMBER

CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH THE "EXISTING AND CONTEMPLATED IMPROVEMENTS" PROVISIONS OF RSA 356-B:20 I, AND THAT THE EXISTING SITE FEATURES AS SHOWN ARE PER AN ON-SITE INSTRUMENT PERFORMED BY THIS OFFICE WHICH MEETS THE URBAN CLASSIFICATION PRECISION REQUIREMENT OF ONE PART IN TEN THOUSAND (1:10,000)."

AND

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN (RSA 676:18,III & 672:14)."

CONDOMINIUM PLAN LAND OF:

114 WEST ROAD, LLC
TAX MAP 248 LOT 8
114 WEST ROAD

CANTERBURY, NEW HAMPSHIRE

SCALE: 1" = 100' SEPTEMBER 19, 2025

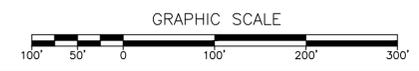


MERIDIAN LAND SERVICES, INC.

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MERIDIANLANDSERVICES.COM FAX 603-673-1584

APPROVED BY CANTERBURY PLANNING BOARD

ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____



D	--	--	--	--	--
C	--	--	--	--	--
B	01/29/26	ATTORNEY COMMENTS	SRF	GDW	KCC
A	10/27/25	3RD PARTY COMMENTS	CPB	GDW	KCC
REV.	DATE	DESCRIPTION	C/O	DR	CK

Plotted: 7/19/2026 12:01 PM By: JUA H:\MIS\12609\2609\00\Drawings\SURV\12609D00B.dwg

UNIT TIE TABLE:

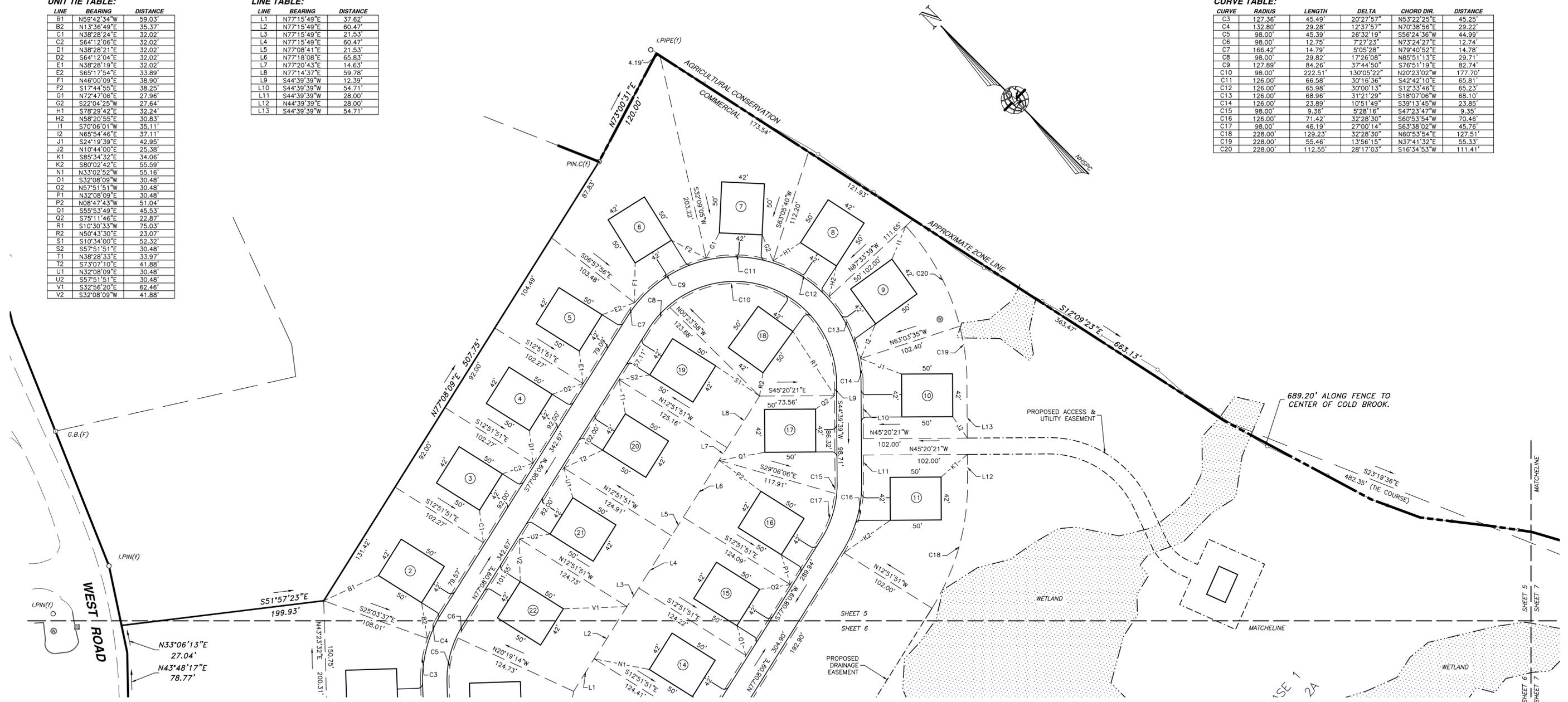
LINE	BEARING	DISTANCE
B1	N59°42'34"W	59.03'
B2	N13°36'49"E	35.37'
C1	N38°28'24"E	32.02'
C2	S64°12'06"E	32.02'
D1	N38°28'21"E	32.02'
D2	S64°12'04"E	32.02'
E1	N38°28'19"E	32.02'
E2	S65°17'54"E	33.89'
F1	N46°00'09"E	38.90'
F2	S17°44'55"E	38.25'
G1	N72°47'06"E	27.96'
G2	S22°04'25"W	27.64'
H1	S78°29'42"E	32.24'
H2	N58°20'55"E	30.83'
I1	S70°06'01"W	35.11'
I2	N65°54'46"E	37.11'
J1	S24°19'39"E	42.95'
J2	N10°44'00"E	25.38'
K1	S85°34'32"E	34.06'
K2	S80°02'42"E	55.59'
N1	N33°02'52"W	55.16'
O1	S32°08'09"W	30.48'
O2	N57°51'51"W	30.48'
P1	N32°08'09"E	30.48'
P2	N08°47'43"W	51.04'
Q1	S55°53'49"E	45.53'
Q2	S75°11'46"E	22.87'
R1	S10°30'33"W	75.03'
R2	N50°43'30"E	23.07'
S1	S10°34'00"E	52.32'
S2	S67°51'51"E	30.48'
T1	N38°28'33"E	33.97'
T2	S73°07'10"E	41.88'
U1	N32°08'09"E	30.48'
U2	S57°51'51"E	30.48'
V1	S32°52'20"E	62.48'
V2	S32°08'09"W	41.88'

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N77°15'49"E	37.62'
L2	N77°15'49"E	60.47'
L3	N77°15'49"E	21.53'
L4	N77°15'49"E	60.47'
L5	N77°08'41"E	21.53'
L6	N77°18'08"E	65.83'
L7	N77°20'43"E	14.63'
L8	N77°14'37"E	59.78'
L9	S44°39'39"W	12.39'
L10	S44°39'39"W	54.71'
L11	S44°39'39"W	28.00'
L12	N44°39'39"E	28.00'
L13	S44°39'39"W	54.71'

CURVE TABLE:

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	DISTANCE
C3	127.36'	45.49'	20°27'57"	N53°22'25"E	45.25'
C4	132.80'	29.28'	12°37'57"	N70°38'56"E	29.22'
C5	98.00'	45.39'	26°32'19"	S56°24'36"W	44.99'
C6	98.00'	12.75'	7°27'23"	N73°24'27"E	12.74'
C7	166.42'	14.79'	5°05'28"	N79°40'52"E	14.78'
C8	98.00'	29.82'	17°26'08"	N85°51'13"E	29.71'
C9	127.89'	84.26'	37°44'50"	S78°51'19"E	82.74'
C10	98.00'	222.51'	130°05'22"	N20°23'02"W	171.70'
C11	126.00'	66.58'	30°16'36"	S42°42'10"E	65.81'
C12	126.00'	65.98'	30°00'13"	S12°33'46"E	65.23'
C13	126.00'	68.96'	31°21'29"	S18°07'06"W	68.10'
C14	126.00'	23.89'	10°51'49"	S39°13'45"W	23.85'
C15	98.00'	9.36'	5°28'16"	S47°23'47"W	9.35'
C16	126.00'	71.42'	32°28'30"	S60°53'54"W	70.48'
C17	98.00'	46.18'	27°00'14"	S63°38'02"W	45.76'
C18	228.00'	129.23'	32°28'30"	N60°53'54"E	127.51'
C19	228.00'	55.46'	13°56'15"	N37°41'32"E	55.33'
C20	228.00'	112.55'	28°17'03"	S16°34'53"W	111.41'



PROPOSED LEGEND:

- LIMITED COMMON AREA LINE
- BUILDING TIE COURSE
- MATCHLINE

UNIT LEGEND:

LIMITED COMMON AREA

PROPOSED UNIT #25

TYPICAL DETAIL OF PROPOSED UNIT UNIT NUMBER (CIRCLED) STREET NUMBER (#) & ASSOCIATED LIMITED COMMON AREA

LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN / ZONE LINE
- ABUTTING LOT LINE
- TIE COURSE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- OH --- EXISTING OH ELECTRIC LINE
- EDGE OF WETLANDS
- EDGE OF WATER

2-23 EXISTING TAX MAP AND LOT NUMBER

EXISTING BUILDING

EXISTING FENCE LINE

EXISTING GRANITE BOUND FOUND

EXISTING DRILL HOLE FOUND/SET

EXISTING IRON PIPE FOUND

EXISTING CATCH BASIN SQUARE

EXISTING UTILITY POLE & GUY WIRE

EXISTING WELL

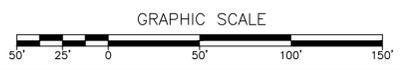
CERTIFICATION:

"I HEREBY CERTIFY THAT THIS PLAN COMPLIES WITH THE "EXISTING AND CONTEMPLATED IMPROVEMENTS" PROVISIONS OF RSA 356-B:20 I, AND THAT THE EXISTING SITE FEATURES AS SHOWN ARE PER AN ON-SITE INSTRUMENT PERFORMED BY THIS OFFICE WHICH MEETS THE URBAN CLASSIFICATION PRECISION REQUIREMENT OF ONE PART IN TEN THOUSAND (1:10,000)."

AND

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN (RSA 676:18,III & 672:14)."

CONDOMINIUM PLAN
LAND OF:
114 WEST ROAD, LLC
 TAX MAP 248 LOT 8
 114 WEST ROAD
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 50'
 SEPTEMBER 19, 2025



APPROVED BY CANTERBURY PLANNING BOARD

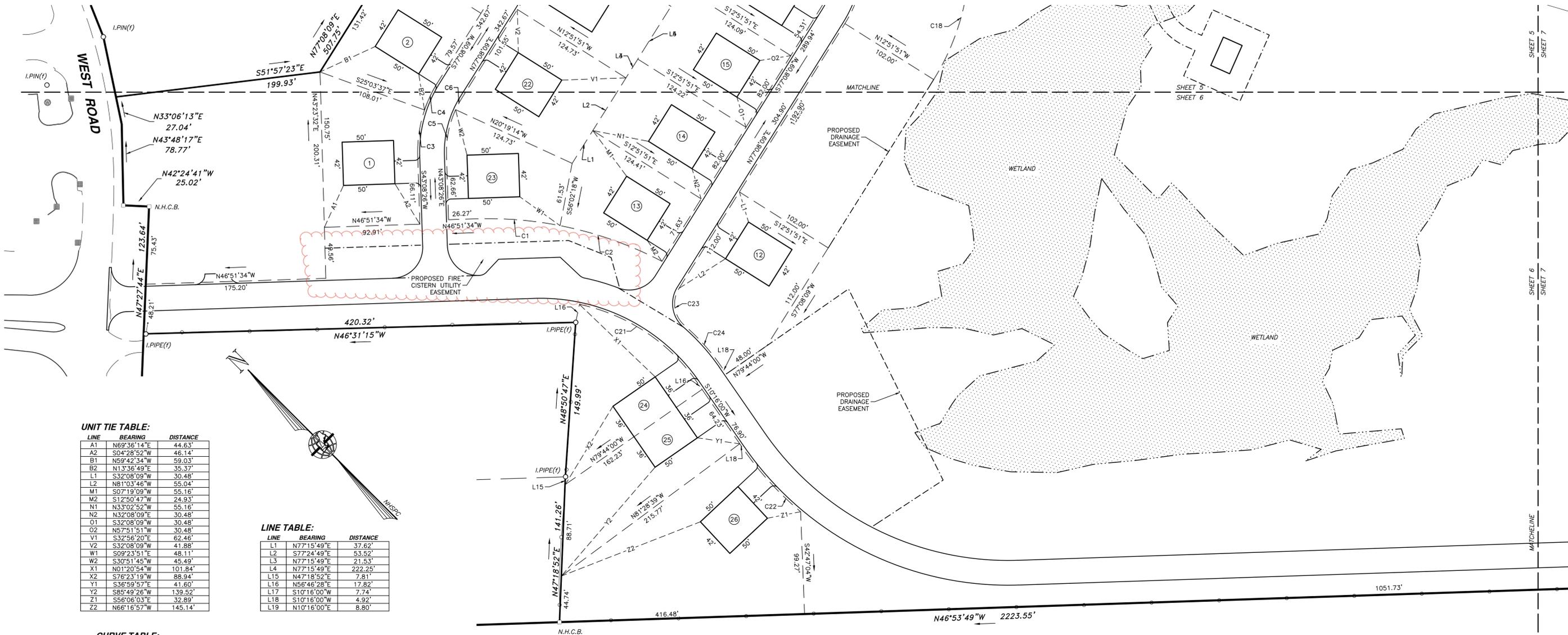
ON: _____ CERTIFIED BY _____
 CHAIRMAN: _____ AND _____
 SECRETARY: _____

REV.	DATE	DESCRIPTION	C/O	DR	CK
D	--	--	--	--	--
C	--	--	--	--	--
B	01/29/26	ATTORNEY COMMENTS	SRF	GDW	KCC
A	10/27/25	3RD PARTY COMMENTS	CPB	GDW	KCC

MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING | SURVEYING | PERMITTING
 SOIL & WETLAND MAPPING | SEPTIC DESIGN
 31 OLD NASHUA ROAD, AMHERST, NH 03031 TEL. 603-673-1441
 MERIDIANLANDSERVICES.COM FAX 603-673-1584

FILE:12609D00B.dwg PROJECT NO. 12609.00 SHEET NO. 5 OF 24

Plotted: 7/19/2026 12:02 PM By: JJA
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UNIT TIE TABLE:

LINE	BEARING	DISTANCE
A1	N69°36'14"E	44.63'
A2	S04°28'52"W	46.14'
B1	N59°42'34"W	59.03'
B2	N13°36'49"E	35.37'
L1	S32°08'09"W	30.48'
L2	N81°03'46"W	55.04'
M1	S07°19'09"W	55.16'
M2	S12°50'47"W	24.93'
N1	N33°02'52"W	55.16'
N2	N32°08'09"E	30.48'
O1	S32°08'09"W	30.48'
O2	N57°51'51"W	30.48'
V1	S32°56'20"E	62.46'
V2	S32°08'09"W	41.88'
W1	S09°23'51"E	48.11'
W2	S30°51'45"W	45.49'
X1	N01°20'54"W	101.84'
X2	S76°23'19"W	88.94'
Y1	S36°59'57"E	41.60'
Y2	S85°49'26"W	139.52'
Z1	S56°06'03"E	32.89'
Z2	N66°16'57"W	145.14'

LINE TABLE:

LINE	BEARING	DISTANCE
L1	N77°15'49"E	37.62'
L2	S77°24'49"E	53.52'
L3	N77°15'49"E	21.53'
L4	N77°15'49"E	222.25'
L15	N47°18'52"E	7.81'
L16	N56°46'28"E	17.82'
L17	S10°16'00"W	7.74'
L18	S10°16'00"W	4.92'
L19	N10°16'00"E	8.80'

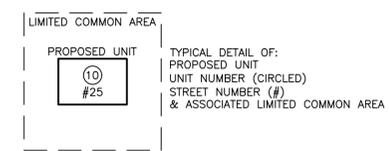
CURVE TABLE:

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	DISTANCE
C1	367.00'	82.61'	12°53'51"	N40°24'38"W	82.44'
C2	367.00'	105.35'	16°26'46"	N25°44'19"W	104.98'
C3	127.36'	45.49'	20°27'57"	N53°22'25"E	45.25'
C4	132.80'	29.28'	12°37'57"	N70°38'56"E	29.22'
C5	98.00'	45.39'	26°32'19"	S56°24'36"W	44.99'
C6	98.00'	12.75'	7°27'23"	S73°24'27"W	12.74'
C18	228.00'	129.23'	32°28'30"	S60°53'54"W	127.51'
C21	188.00'	141.19'	43°29'31"	N11°28'46"W	137.82'
C22	314.00'	83.93'	15°18'56"	N02°36'32"W	83.68'
C23	28.00'	39.68'	81°12'05"	S36°32'06"W	36.44'
C24	214.00'	53.53'	14°19'56"	S03°06'02"W	53.39'

PROPOSED LEGEND:

- LIMITED COMMON AREA LINE
- BUILDING TIE COURSE
- MATCHLINE

UNIT LEGEND:



LEGEND:

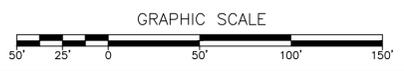
- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN / ZONE LINE
- ABUTTING LOT LINE
- TIE COURSE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- OH — EXISTING OH ELECTRIC LINE
- EDGE OF WETLANDS
- EDGE OF WATER
- 2-23 — EXISTING TAX MAP AND LOT NUMBER
- ▭ — EXISTING BUILDING
- EXISTING FENCE LINE
- — EXISTING GRANITE BOUND FOUND
- — EXISTING DRILL HOLE FOUND/SET
- — EXISTING IRON PIPE FOUND
- — EXISTING CATCH BASIN SQUARE
- EXISTING UTILITY POLE & GUY WIRE
- ⊙ — EXISTING WELL

CERTIFICATION:

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REV.	DATE	DESCRIPTION	C/O	DR	CK
D	--	--	--	--	--
C	--	--	--	--	--
B	01/29/26	ATTORNEY COMMENTS	SRF	GDW	KCC
A	10/27/25	3RD PARTY COMMENTS	CPB	GDW	KCC

APPROVED BY CANTERBURY PLANNING BOARD

ON: _____ CERTIFIED BY _____

CHAIRMAN: _____ AND _____

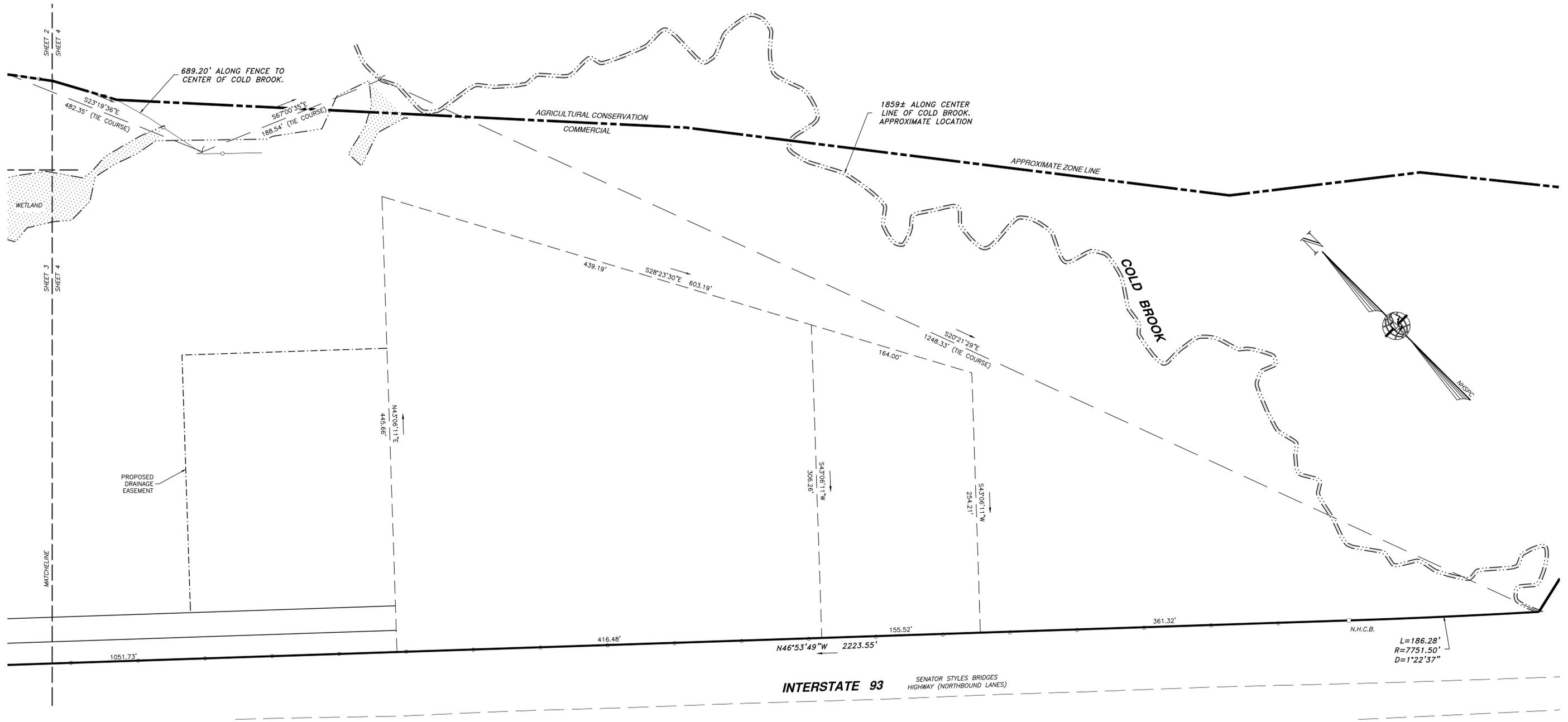
SECRETARY: _____



CONDOMINIUM PLAN
LAND OF:
114 WEST ROAD, LLC
 TAX MAP 248 LOT 8
 114 WEST ROAD
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 50' SEPTEMBER 19, 2025

MERIDIAN
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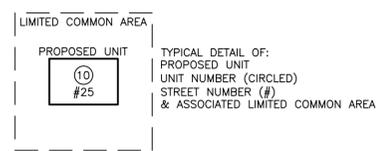
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PROPOSED LEGEND:

- LIMITED COMMON AREA LINE
- - - - BUILDING TIE COURSE
- MATCHLINE

UNIT LEGEND:



LEGEND:

- RIGHT-OF-WAY SIDELINE
- PROPERTY LINE
- TOWN / ZONE LINE
- ABUTTING LOT LINE
- TIE COURSE
- EDGE OF PAVEMENT
- EXISTING GRAVEL ROAD
- OH — EXISTING OH ELECTRIC LINE
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**CONDOMINIUM PLAN
LAND OF:**

114 WEST ROAD, LLC
TAX MAP 248 LOT 8
114 WEST ROAD

CANTERBURY, NEW HAMPSHIRE

SCALE: 1" = 50'

SEPTEMBER 19, 2025



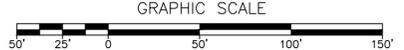
**MERIDIAN
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MERIDIANLANDSERVICES.COM FAX 603-673-1584

APPROVED BY CANTERBURY PLANNING BOARD

ON: _____ CERTIFIED BY
CHAIRMAN: _____ AND
SECRETARY: _____



REV.	DATE	DESCRIPTION	C/O	DR	CK
D	--	--	--	--	--
C	--	--	--	--	--
B	01/29/26	ATTORNEY COMMENTS	SRF	GDW	KCC
A	10/27/25	3RD PARTY COMMENTS	CPB	GDW	KCC

Plotted: 2/19/2026 12:02 PM By: JJA
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- LEGEND:**
- EX. LOT LINE
 - EX. RIGHT-OF-WAY LINE
 - ABUTTING LOT LINE
 - - - BUILDING SETBACK
 - - - 10'-FOOT CONTOUR
 - - - 2'-FOOT CONTOUR
 - PROPOSED RIGHT-OF-WAY
 - - - PROPOSED CONDOMINIUM LINE
 - - - FORMER LOT LINE
 - PROPOSED PAVEMENT
 - PROPOSED BUILDING
 - PROPOSED BASIN

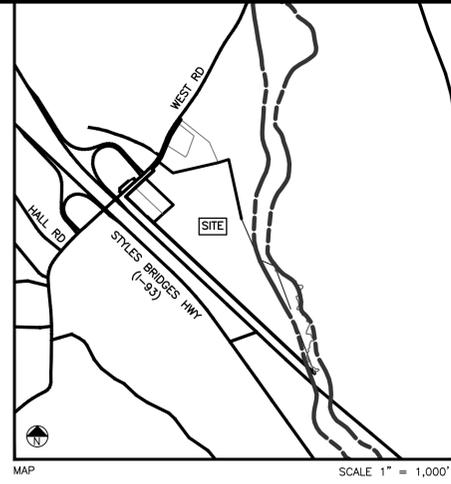
PHASE NOTES:

PHASE 1: THIS PHASE CONSISTS OF CONSTRUCTING THE PHASE 1 PORTION OF THE MAIN ACCESS ROAD, LOOP ROAD, COMMUNITY WATER SYSTEM, PHASE 1 STORMWATER IMPROVEMENTS. THESE IMPROVEMENTS WILL SUPPORT THE CONSTRUCTION OF THE 26 RESIDENTIAL UNITS. IN ADDITION TO THE MASTER INFRASTRUCTURE DESCRIBED, THIS PHASE INCLUDES PREPARING THE FRONT COMMERCIAL LOT BY GRADING A FLAT BUILDING PAD AND STUBBING A WATER SERVICE AND STORMWATER CONNECTION TO THE LOT. THE FRONT COMMERCIAL LOT HAS AN ALLOWANCE OF 70% IMPERVIOUS COVERAGE TO COMPLY WITH THE STORMWATER DESIGN. PREPARE LOT 'COM 1' PAD AND CONSTRUCT GRAVEL ROADWAY TO LOTS 'COM 2' AND 'COM 3'.

PHASE 2A: THIS PHASE CONSISTS OF CONSTRUCTING A COMMERCIAL SITE PLAN ON THE FRONT COMMERCIAL LOT. ASSOCIATED WITH THIS CONSTRUCTION IS AN INDIVIDUAL SEPTIC AND CONNECT TO THE WATER SUPPLY SYSTEM AND THE STORMWATER SYSTEM. ONLY STORMWATER CONVEYANCE IS REQUIRED TO DISCHARGE THE STORMWATER TO THE PROVIDED CONNECTION CONSTRUCTED IN PHASE 1. NO STORMWATER TREATMENT IS REQUIRED IF THE LOT COVERAGE IS BELOW THE 70% IMPERVIOUS COVERAGE ALLOWANCE. TOWN OF CANTERBURY SITE PLAN PERMIT IS EXPECTED TO BE REQUIRED.

PHASE 2B: THIS PHASE CONSISTS OF CONSTRUCTING THE REMAINDER OF THE ACCESS ROAD AND THE ASSOCIATED STORMWATER BASIN. CONSTRUCTION OF EITHER OF THE TWO REAR COMMERCIAL LOTS, INDIVIDUAL SEPTIC, WELLS, AND OTHER SITE IMPROVEMENTS. NO STORMWATER IS REQUIRED IF THE LOTS' COVERAGE IS BELOW THE 75% IMPERVIOUS COVERAGE ALLOWANCE. TOWN OF CANTERBURY SITE PLAN PERMIT IS EXPECTED TO BE REQUIRED.

PHASE 2A OR PHASE 2B CAN OCCUR IN ANY ORDER AFTER PHASE 1 IS CONSTRUCTED OR CONCURRENTLY WITH PHASE 1



ISSUED FOR
STATE AND/OR
MUNICIPAL
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APPROVAL ONLY

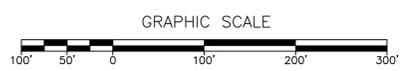
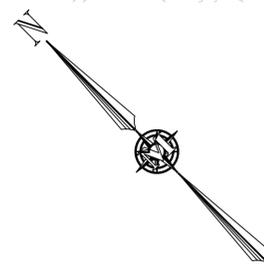
REV.	DATE	DESCRIPTION	DR	CK
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF
B	9/18/25	PER COMMENT RESPONSES	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
OVERVIEW AND PHASING PLAN

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

0-1
SHEET

FILE: 12609100E.dwg
PROJECT: 12609.00
SHEET NO. 8 OF 25



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Plotted: 2/19/2026 11:50 AM By: JJA
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LEGEND:

	EX. LOT LINE
	EX. RIGHT-OF-WAY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK
	10-FOOT CONTOUR
	2-FOOT CONTOUR
	LIMITS OF DISTURBANCE
	DISTURBANCE AREA
	CLEARING AND GRUBBING AREA

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 SOIL & WETLAND MAPPING SEPTIC DESIGN
 31 OLD NASHUA ROAD, AMHERST, NH 03051 TEL: 603-673-1441
 MERIDIANLANDSERVICES.COM FAX: 603-673-1584

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REV.	DATE	DESCRIPTION	DR	CK
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF
B	9/18/25	PER COMMENT RESPONSES	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
 SITE PREPARATION PLAN

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

SP-1
 SHEET
 FILE: 12609\00E.dwg
 PROJECT: 12609.00
 SHEET NO. 9 OF 25

JUNE 3, 2025

SCALE: 1" = 50'

Plotted: 2/19/2026 11:50 AM By: JJA
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LEGEND:

	EX. LOT LINE
	EX. RIGHT-OF-WAY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK
	10-FOOT CONTOUR
	2-FOOT CONTOUR
	PROPOSED RIGHT-OF-WAY
	PROPOSED CONDOMINIUM LINE
	SILT FENCE
	PROPOSED PAVEMENT
	PROPOSED BUILDING
	PROPOSED BASIN
	EROSION CONTROL MAT
	INLET PROTECTION - COMPOST SOCK

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 MERIDIANLANDSERVICES.COM FAX 603-673-1584

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REV.	DATE	DESCRIPTION	DR	CK
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF
B	9/18/25	PER COMMENT RESPONSES	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
 EROSION AND SEDIMENTATION
 CONTROL PLAN

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

SP-2
 SHEET

FILE: 12609\00E.dwg
 PROJECT 12609.00
 SHEET NO. 10 OF 25

JUNE 3, 2025

SCALE: 1" = 50'

PIPE SCHEDULE								
LABEL	FROM	INV.	TO	INV.	LENGTH (FT)	SLOPE (FT/FT)	DIAMETER (IN)	MATERIAL
DP-1	CB1.11	357.15	FES-1	357.00	18.7	0.0080	24	HDPE
DP-2	OCS-1	357.00	FES-2	356.50	25.0	0.0200	18	HDPE
DP-3	CB1.2	357.35	CB1.11	357.15	18.0	0.0111	24	HDPE
DP-4	CB1.3	358.10	CB1.11	357.25	135.2	0.0063	18	HDPE
DP-5	CB1.41	353.15	CB1.42	353.15	18.0	0.0000	18	HDPE
DP-6	CB1.42	353.15	FES-3	353.00	21.0	0.0071	18	HDPE
DP-7	CB1.4	358.30	CB1.3	358.10	32.5	0.0062	18	HDPE
DP-8	CB1.51	363.90	CB1.5	363.20	120.9	0.0058	15	HDPE
DP-9	CB1.52	365.40	CB1.51	363.90	282.6	0.0053	15	HDPE
DP-10	CB1.53	365.50	CB1.52	365.40	20.9	0.0048	15	HDPE
DP-11	CB1.5	363.20	CB1.4	358.30	175.3	0.0280	18	HDPE
DP-12	CB1.6	363.40	CB1.5	363.20	36.2	0.0055	18	HDPE
DP-13	CB1.7	365.40	CB1.6	363.40	205.8	0.0097	18	HDPE
DP-14	CB1.8	365.60	CB1.7	365.40	19.0	0.0105	18	HDPE
DP-15	OCS-2	366.00	CB1.8	365.60	15.0	0.0267	15	HDPE
DP-16	CB3.1	360.60	FES-4	356.00	121.7	0.0378	24	HDPE
DP-17	CB3.21	359.00	CB3.2	358.80	18.0	0.0111	18	HDPE
DP-18	CB3.2	358.80	FES-5	356.00	70.4	0.0398	18	HDPE

SEE SHEETS P-1 AND P-2 FOR DRAINAGE STRUCTURE INFORMATION

- LEGEND:**
- EX. LOT LINE
 - EX. RIGHT-OF-WAY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK
 - 10-FOOT CONTOUR
 - 2-FOOT CONTOUR
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED CONDOMINIUM LINE
 - PROPOSED PAVEMENT
 - PROPOSED BUILDING
 - PROPOSED BASIN
 - SEPTIC LEACHING FIELD
 - GRAVEL

- NOTES:**
- COMMERCIAL LOT 1 TO BE CLEARED AND GRADED TO TEMPORARY FLARED END SECTION. AREA TO BE STABILIZED WITH GRASS OR GRAVEL.
 - COMMERCIAL LOT DESIGNED WITH AN ASSUMED 70% IMPERVIOUS COVERAGE. NO MODIFICATION TO STORM WATER BASINS.

MERIDIAN
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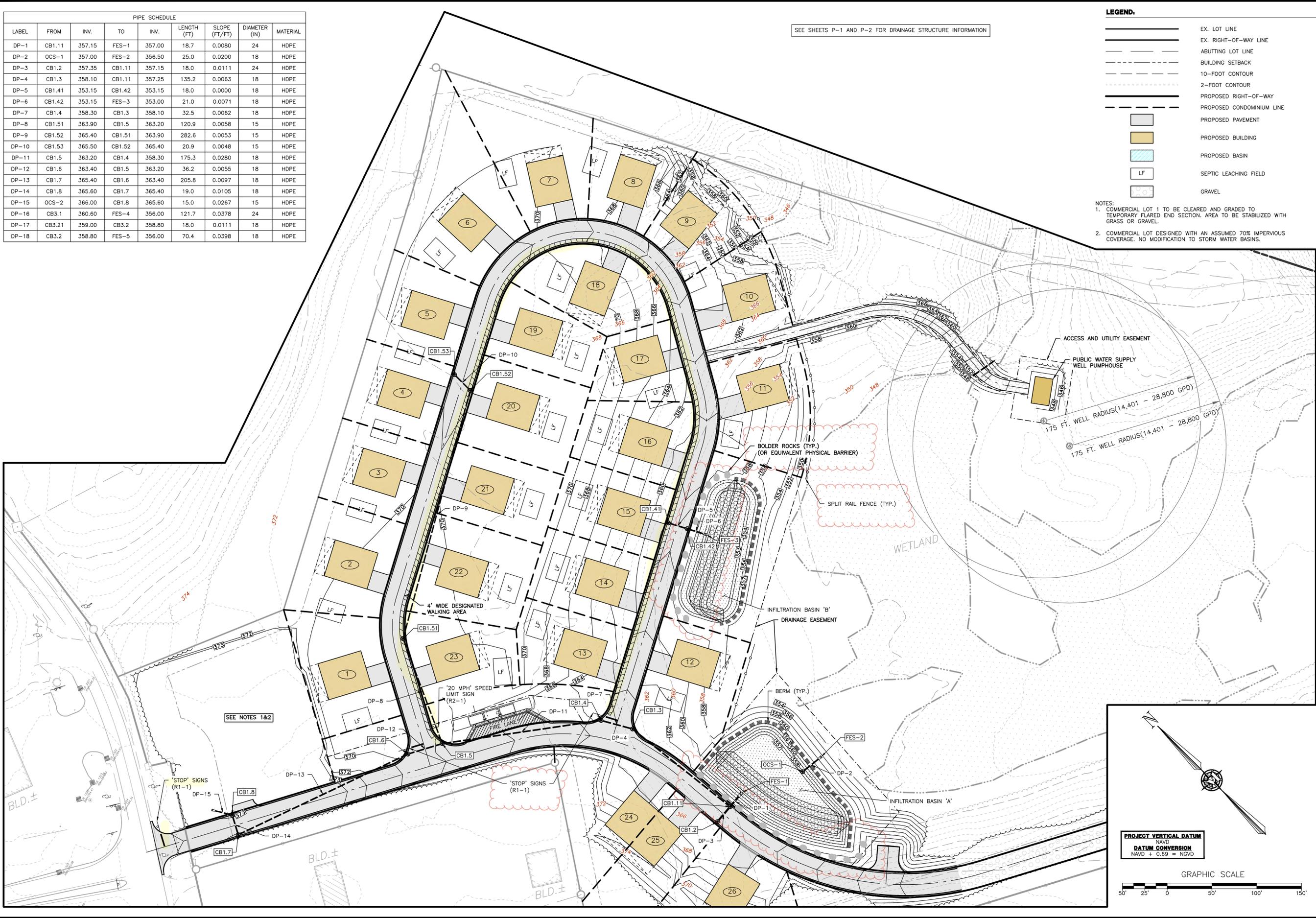
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REV.	DATE	DESCRIPTION	DR	CK
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HILDRETH'S FARM
LAYOUT, GRADING, AND
DRAINAGE PLAN

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

SP-3
SHEET
FILE: 12609100E.dwg
PROJECT: 12609.00
SHEET NO. 11 OF 25

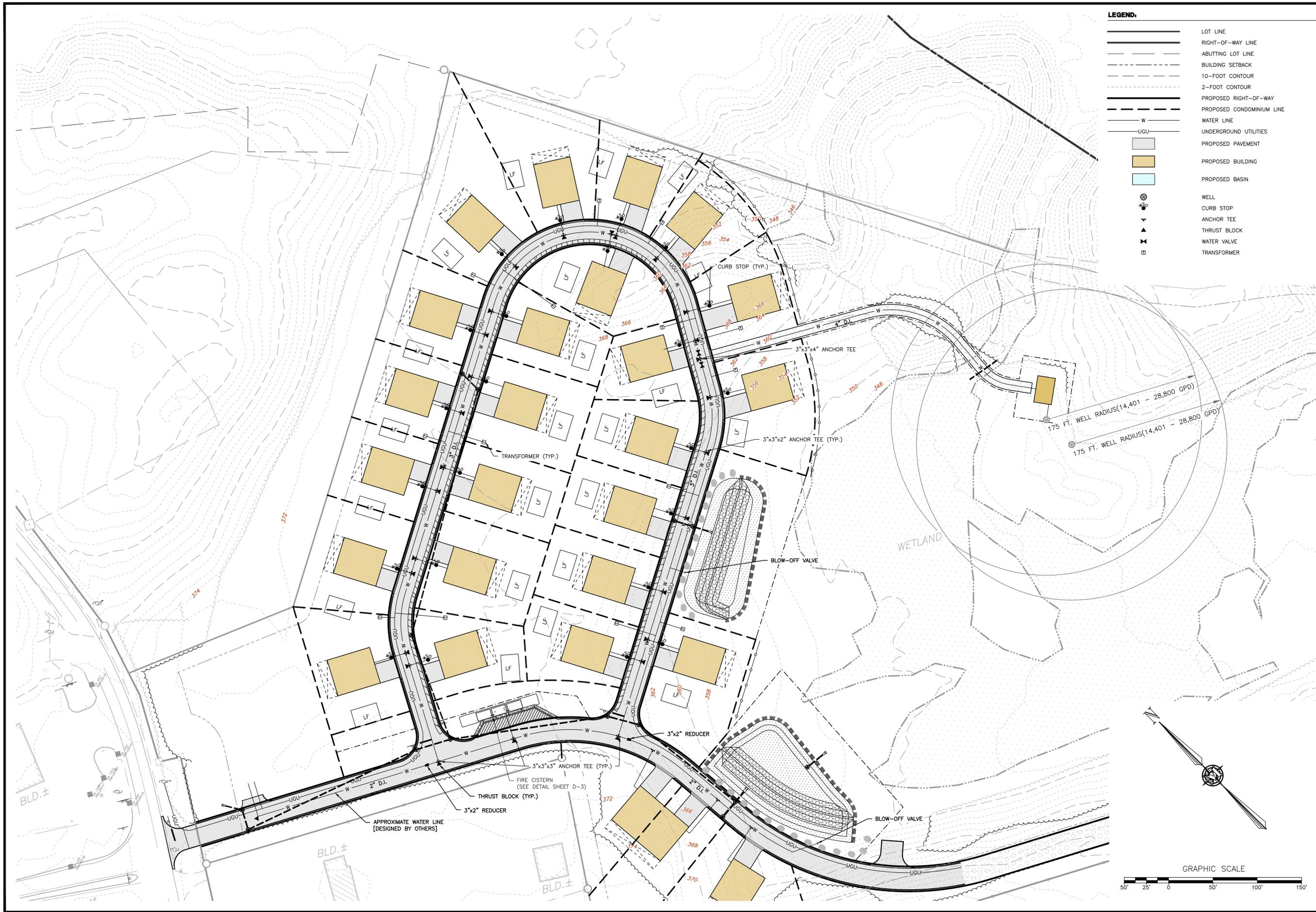


PROJECT VERTICAL DATUM
NAVD
DATUM CONVERSION
NAVD + 0.69 = NGVD

GRAPHIC SCALE
50' 25' 0' 50' 100' 150'

Plotted: 2/19/2026 11:50 AM By: JJA
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LEGEND:

	LOT LINE
	RIGHT-OF-WAY LINE
	ABUTTING LOT LINE
	BUILDING SETBACK
	10-FOOT CONTOUR
	2-FOOT CONTOUR
	PROPOSED RIGHT-OF-WAY
	PROPOSED CONDOMINIUM LINE
	WATER LINE
	UNDERGROUND UTILITIES
	PROPOSED PAVEMENT
	PROPOSED BUILDING
	PROPOSED BASIN
	WELL
	CURB STOP
	ANCHOR TEE
	THRUST BLOCK
	WATER VALVE
	TRANSFORMER

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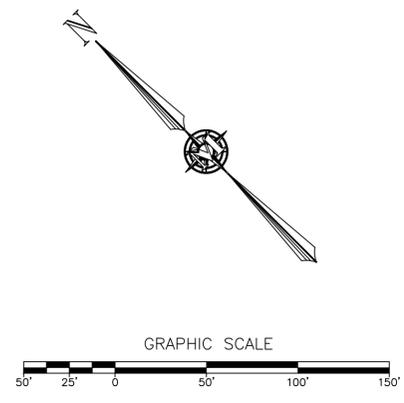
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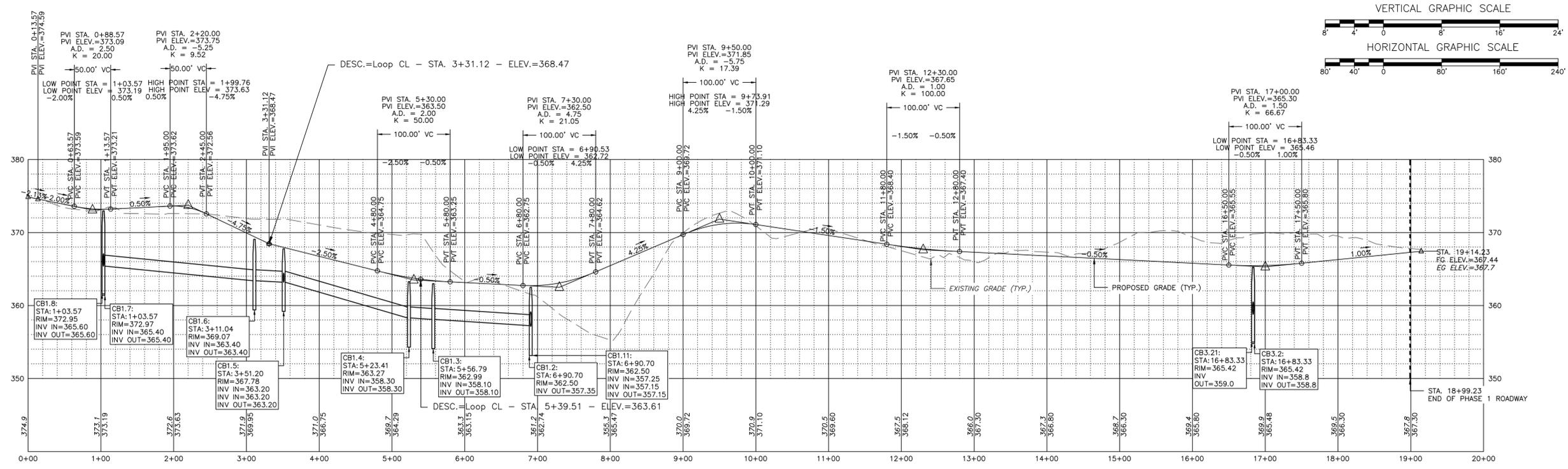
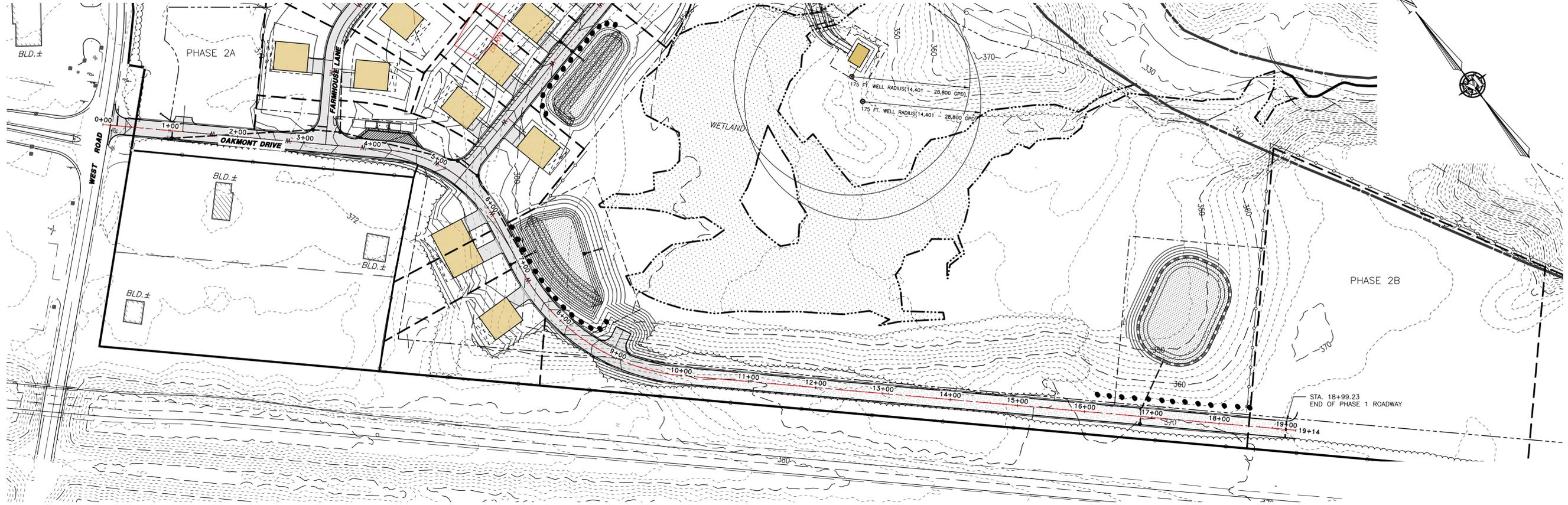
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B	9/18/25	PER COMMENT RESPONSES	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
 UTILITIES PLAN

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

SP-4
 SHEET
 FILE: 12609\00E.dwg
 PROJECT: 12609.00
 SHEET NO. 12 OF 25





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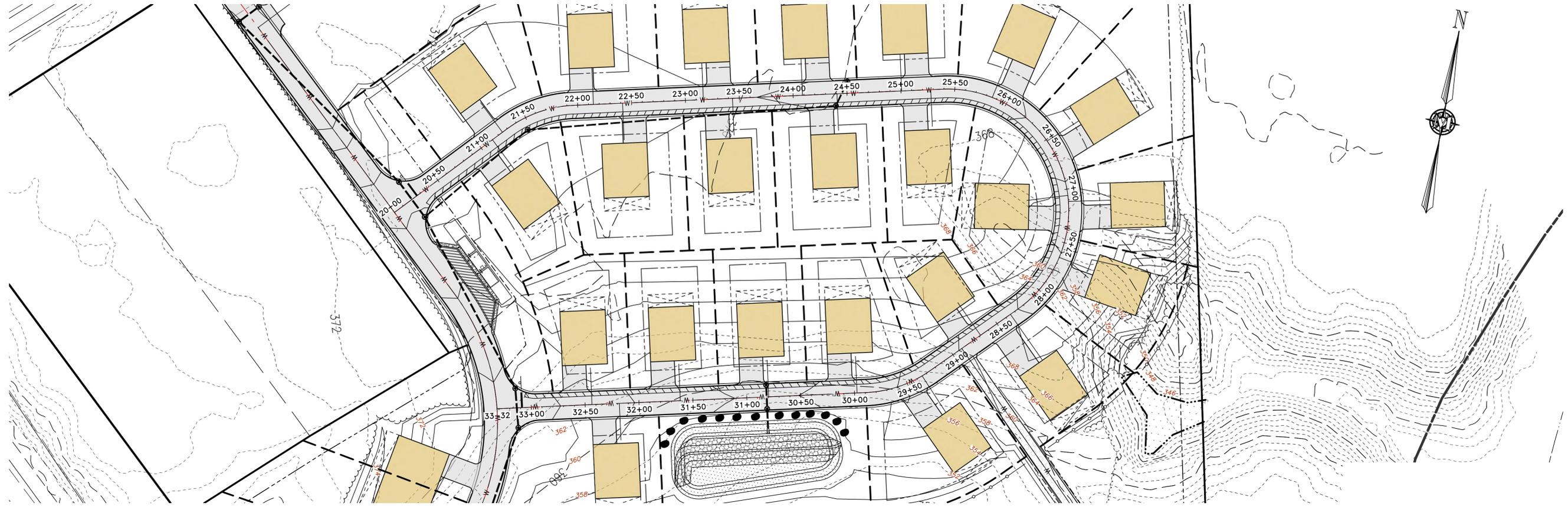
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4	9/18/25	PB COMMENT RESPONSES	JJA	SRF
5	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF

HILDRETH'S FARM
DEVELOPMENT
OAKMONT DRIVE PLAN & PROFILE

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

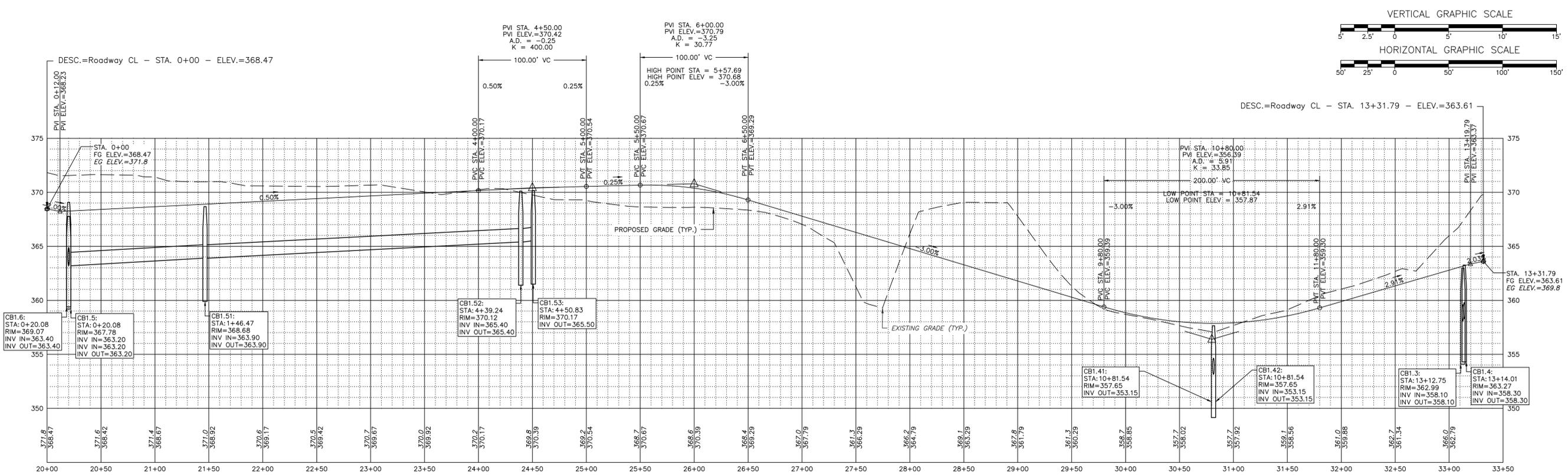
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SHEET NO. 13 OF 25

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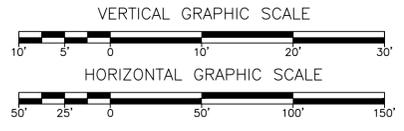
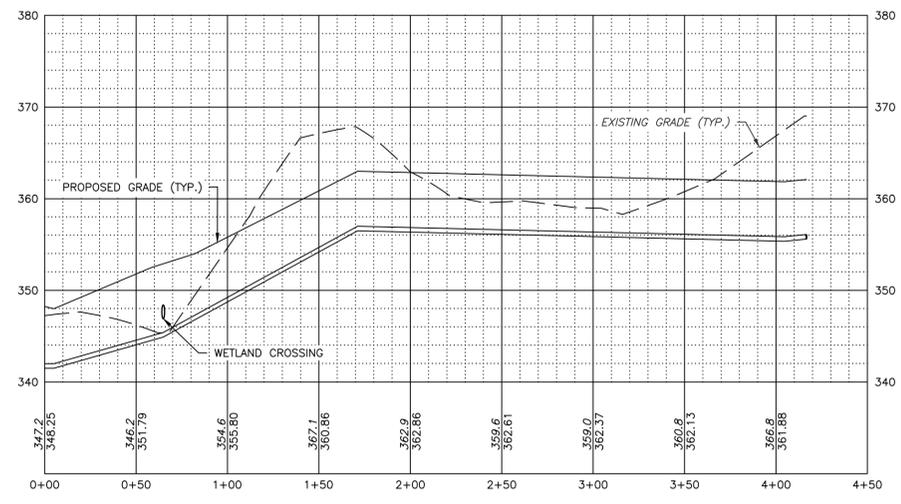
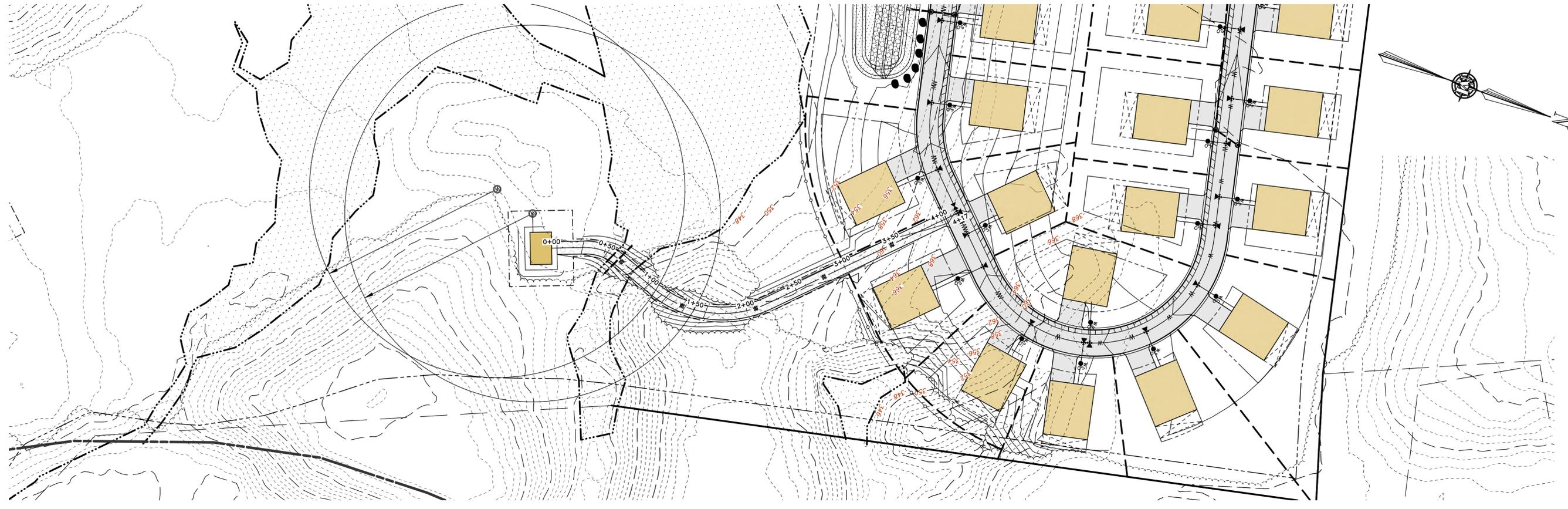


HILDRETH'S FARM
 DEVELOPMENT
 FARMHOUSE LANE PLAN & PROFILE
 JUNE 3, 2025

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 50'

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D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF
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HILDRETH'S FARM
 DEVELOPMENT
 WATER LINE PLAN & PROFILE

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

P-3
 SHEET

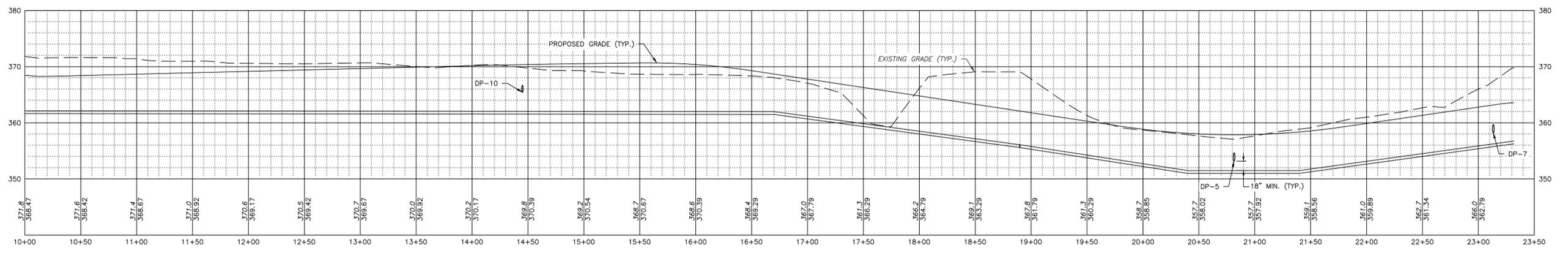
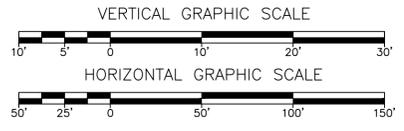
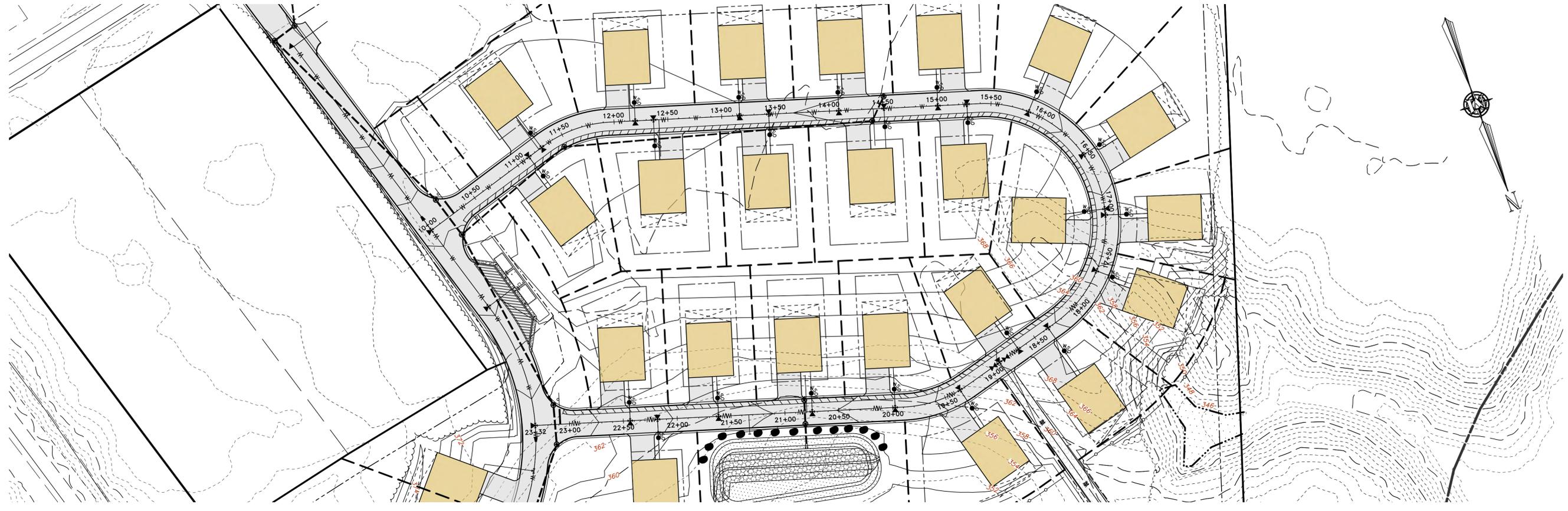
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 SHEET NO. 15 OF 25

SCALE: 1" = 50'

JUNE 3, 2025

MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING, SURVEYING, PERMITTING,
 SOIL & WETLAND MAPPING, SEPTIC DESIGN
 31 OLD NASHUA ROAD, AMHERST, NH 03051 TEL: 603-673-1441
 MERIDIANLANDSERVICES.COM FAX: 603-673-1584

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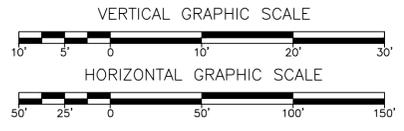
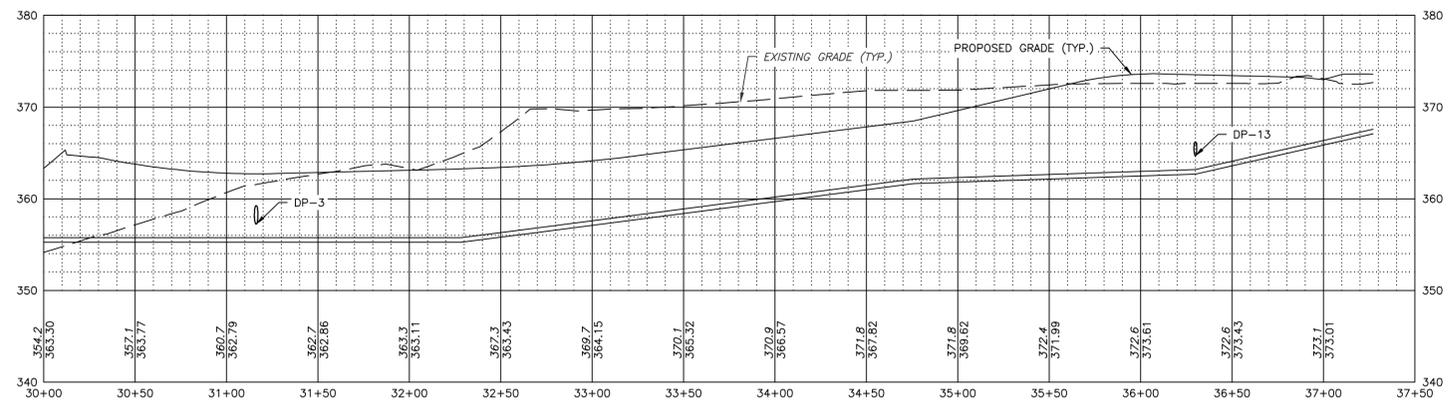
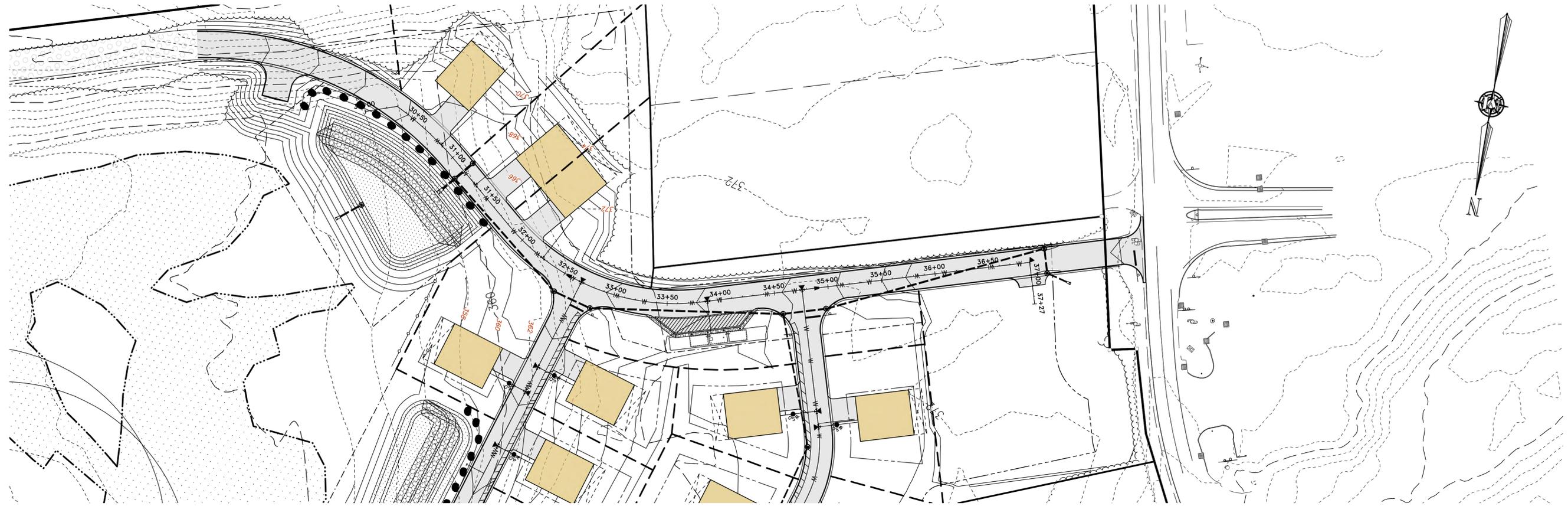
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E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
 DEVELOPMENT
 WATER LINE PLAN & PROFILE
 JUNE 3, 2025

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 50'

P-4
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 FILE: 12609POOE.dwg
 PROJECT 12609.00
 SHEET NO. 16 OF 25

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MERIDIAN
 LAND SERVICES, INC.
 ENGINEERING SURVEYING PERMITTING
 SOIL & WETLAND MAPPING SEPTIC DESIGN
 31 OLD NASHUA ROAD, AMHERST, NH 03051 TEL: 603-673-1441
 MERIDIANLANDSERVICES.COM FAX: 603-673-1584

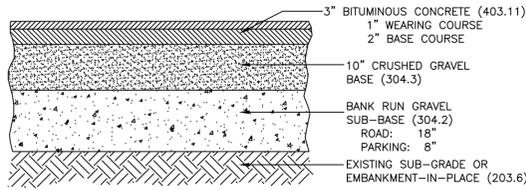
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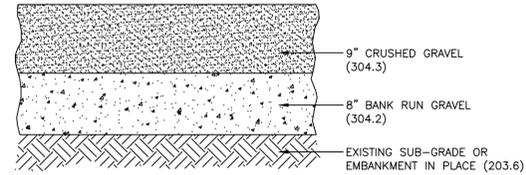
HILDRETH'S FARM
 DEVELOPMENT
 WATER LINE PLAN & PROFILE
 JUNE 3, 2025

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 50'

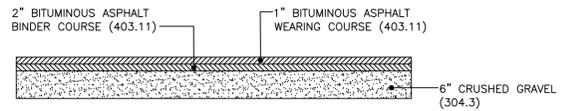
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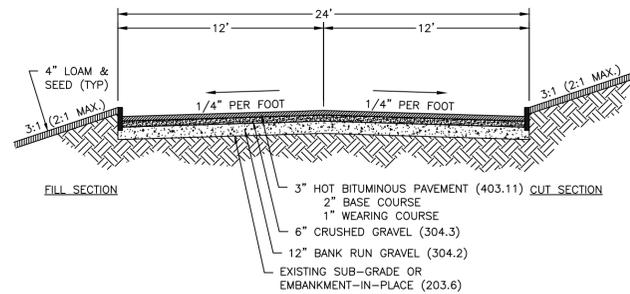
PAVEMENT - ROAD/PARKING SCALE: NONE **1** D-1



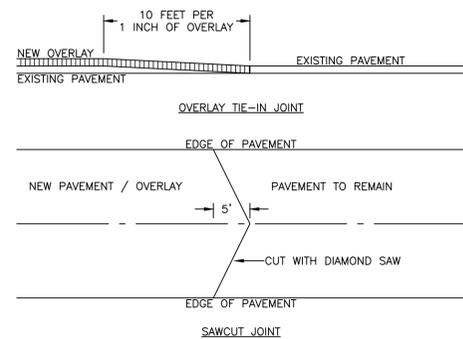
GRAVEL SECTION SCALE: NONE **2** D-1



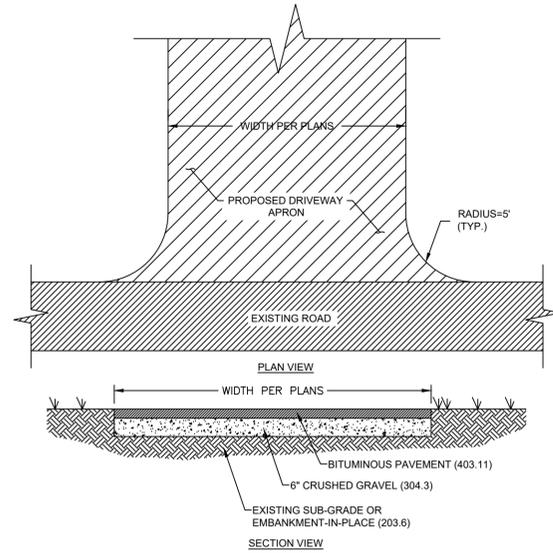
DRIVEWAY PAVEMENT SECTION SCALE: NONE **3** D-1



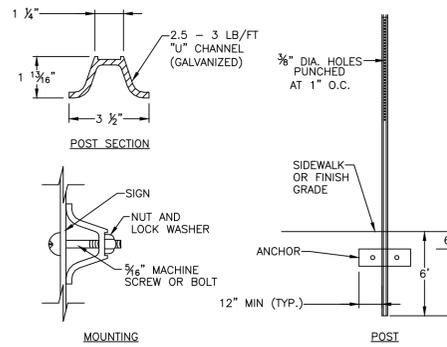
TYPICAL ROADWAY CROSS SECTION SCALE: NONE **4** D-1



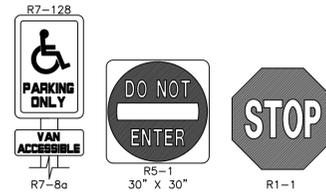
PAVEMENT JOINTS SCALE: NONE **5** D-1



PAVED DRIVEWAY APRON SCALE: NONE **6** D-1

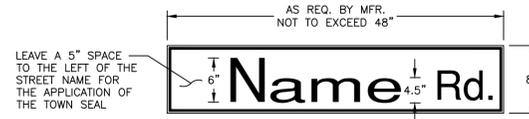


TRAFFIC SIGNS SCALE: NONE **7** D-1



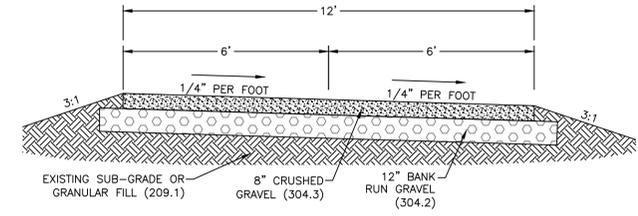
GENERAL NOTES:
 1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO "NHOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", SECTIONS 615 AND 632, AS AMENDED, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 2. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT OF ALL SIGNING AND PAVEMENT MARKINGS.

TRAFFIC SIGNS SCALE: NONE **8** D-1

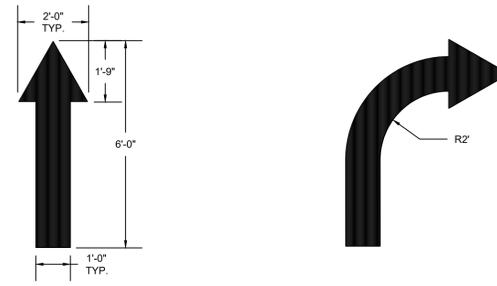


- STREET SIGN NOTES:**
- STREET SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD SIGN TYPE D3-1, GREEN IN COLOR UNLESS OTHERWISE SPECIFIED BY THE TOWN.
 - STREET SIGN SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD FOR SIGN LOCATION, MOUNTING HEIGHT, SIGN HEIGHT/WIDTH AND TEXT HEIGHT/STYLE.
 - LETTERING ON POST-MOUNTED STREET NAMES SIGNS SHOULD BE COMPOSED OF INITIAL UPPER-CASE LETTERS AT LEAST 6 INCHES IN HEIGHT AND LOWER CASE LETTERS AT LEAST 4.5 INCHES IN HEIGHT.
 - STREET NAME SIGN SHALL BE RETROREFLECTIVE TO SHOW THE SAME SHAPE AND COLOR BOTH DAY AND NIGHT. NAME AND BORDER SHALL CONTRAST WITH THE BACKGROUND COLOR.
 - SIGN HEIGHT SHALL BE 8" WITH A WIDTH NOT TO EXCEED 48".
 - SIGN SHALL BE AN EXTRUDED ALUMINUM PANEL.

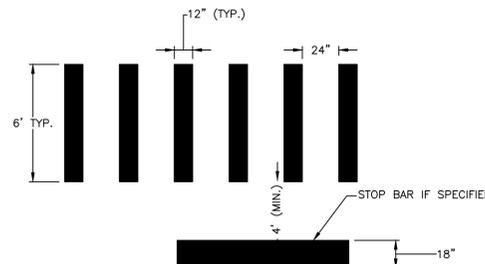
STREET SIGN SCALE: NONE **9** D-1



TYPICAL ACCESS GRAVEL DRIVE SCALE: NONE **12** D-1



PAINTED PAVEMENT MARKINGS - ONSITE SCALE: NONE **10** D-1



- NOTES:**
- ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.
 - PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
 - ALL STOP BARS, WORDS, AND CROSSWALKS SHALL BE THERMOPLASTIC.

CROSSWALK AND STOP BAR MARKING DETAIL SCALE: NONE **11** D-1



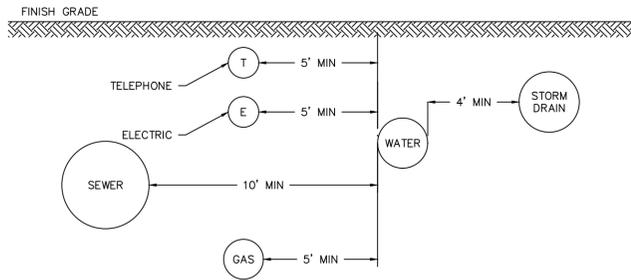
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CONCEPTUAL CONDOMINIUM
 DEVELOPMENT
 CONSTRUCTION DETAILS

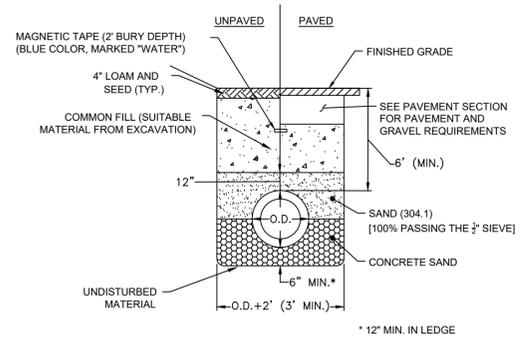
114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

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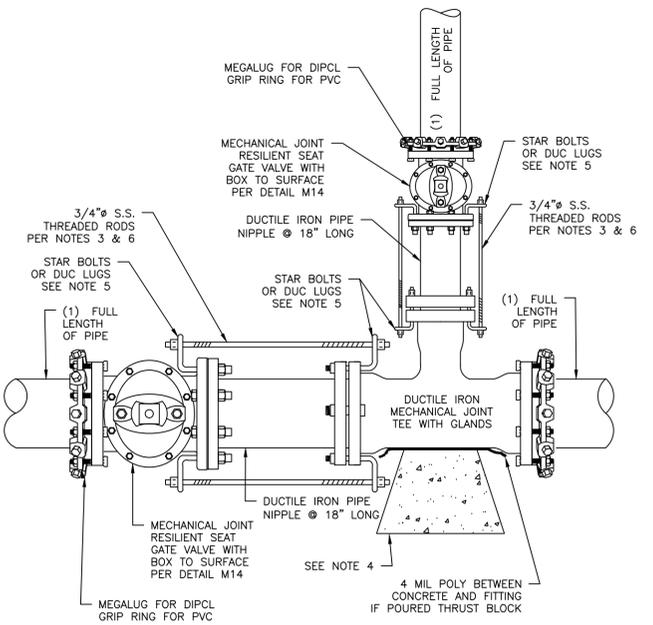
NOTES:
 1. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL CONFORM TO TOWN OF CANTERBURY SPECIFICATIONS.
 2. ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 6" FROM TOP OF PIPE TO FINISH GRADE.

UTILITY TRENCH - HORIZONTAL SEPARATION SCALE: NONE **1** D-2



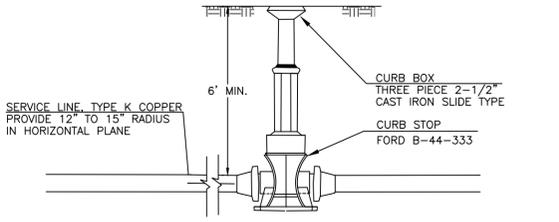
WATER MAIN NOTES:
 1) ALL POTABLE WATER RELATED MATERIALS SHALL MEET MANCHESTER WATER WORKS SPECIFICATIONS.
 2) WATER MAIN SHALL HAVE A MINIMUM COVER OF 5'-6\"/>

WATER SERVICE TRENCH SECTION SCALE: NONE **4** D-2



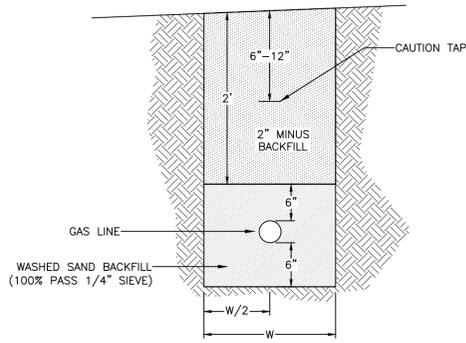
NOTES:
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4\"/>

TYPICAL TEE INSTALLATION SCALE: NONE **7** D-2

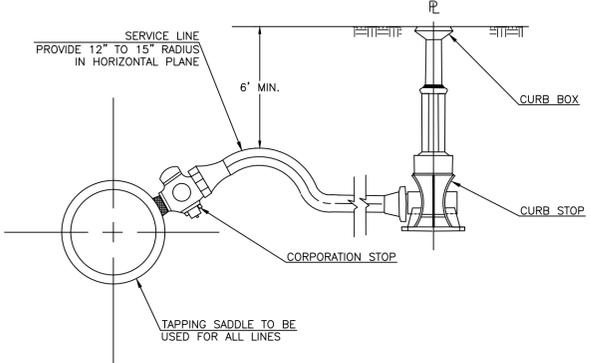


TYPICAL SERVICE CONNECTION - CURB STOP / BOX SCALE: NONE **9** D-2

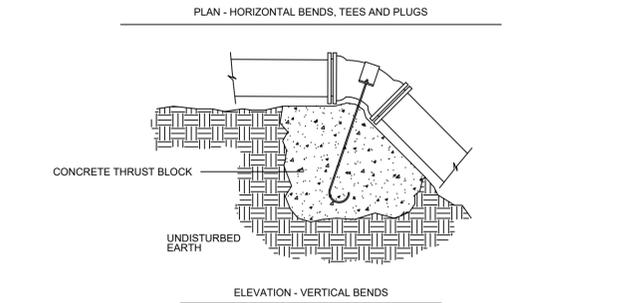
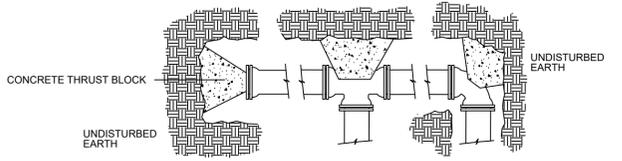
NOTE: GAS PIPING AND TRENCHING REQUIREMENTS SHALL BE TO THE SPECIFICATIONS OF GAS COMPANY.



GAS LINE TRENCH SCALE: NONE **2** D-2

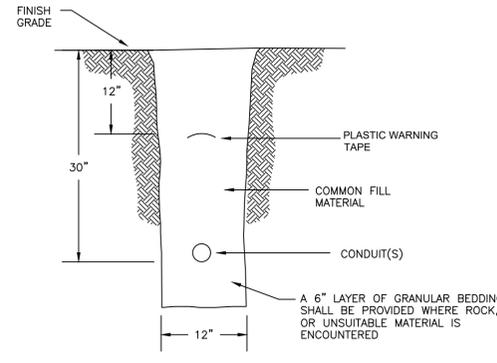


SERVICE CONNECTION 3/4\"/>

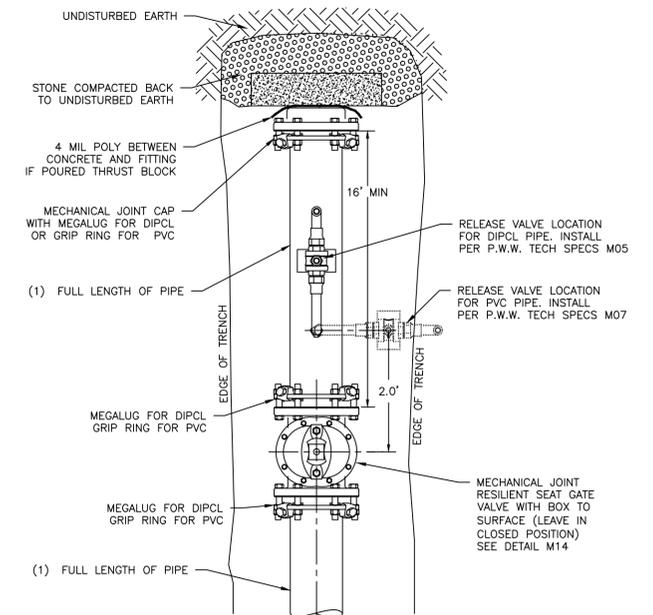


1. THRUST BLOCK DIMENSIONS TO BE DETERMINED IN FIELD BY ENGINEER BASED ON PIPE SIZE, WATER PRESSURE AND SOIL TYPE.
 2. STONE BACKING MAY BE SUBSTITUTED FOR CONCRETE THRUST BLOCKS PROVIDED THE STONE(S) ARE OF EQUAL SIZE AND BEAR ON UNDISTURBED GROUND.
 3. USE OF JOINT RESTRAINT SYSTEMS SHALL NOT ELIMINATE THRUST BLOCK REQUIREMENTS (WHERE POSSIBLE).

TYPICAL THRUST BLOCKS SCALE: NONE **6** D-2



TYPICAL CONDUIT TRENCH SCALE: NONE **3** D-2



NOTES:
 1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO P.W.W TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

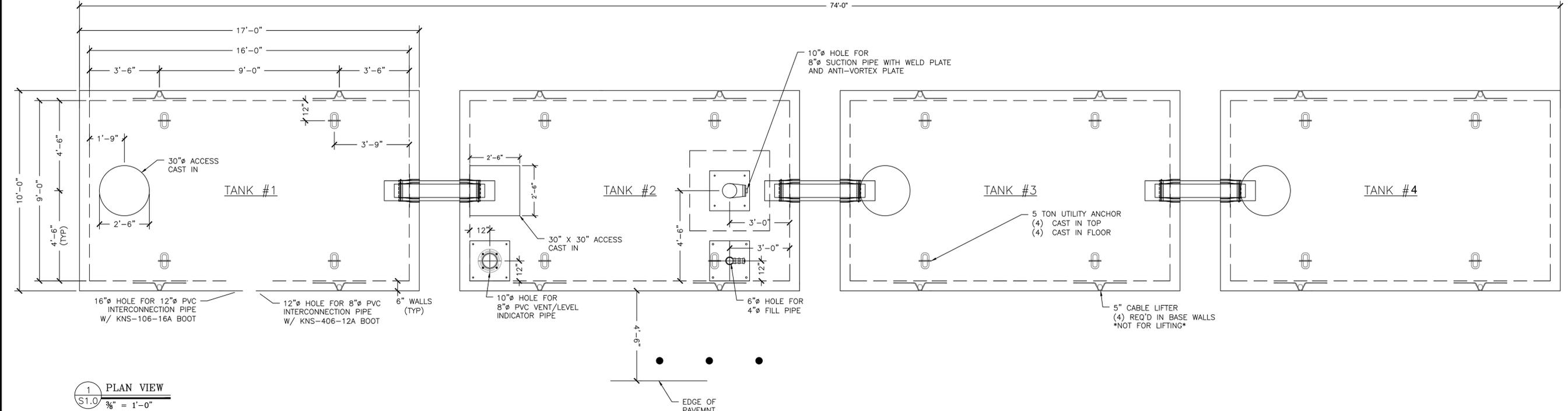
END OF MAIN W/ GATE VALVE INSTALLATION SCALE: NONE **8** D-2

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E	2/11/26	TOWN COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
B	9/18/25	PE COMMENT RESPONSES	JJA	SRF
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF

CONCEPTUAL CONDOMINIUM
 DEVELOPMENT
 UTILITY DETAILS

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE



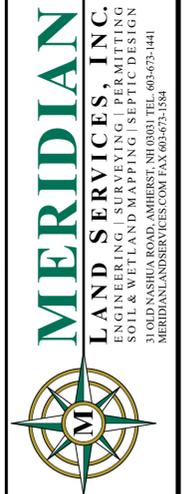
1 PLAN VIEW
S1.0 3/8" = 1'-0"

- NOTES:
- MAINTAIN MINIMUM 60 DEGREE SLING ANGLE WHEN HANDLING PRECAST COMPONENTS.
 - PRECAST COMPONENTS SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI PRIOR TO STRIPPING, AND THE MINIMUM DESIGN COMPRESSIVE STRENGTH PRIOR TO SHIPPING, UNLESS OTHERWISE APPROVED.
 - CONCRETE SHALL BE SELF-CONSOLIDATING CONFORMING TO ASTM C260 WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI. AGGREGATE SHALL CONFORM TO ASTM C-33 WITH A MAXIMUM DIAMETER OF 3/4". CEMENT SHALL CONFORM TO ASTM C150.
 - REINFORCING SHALL BE 60,000 PSI GRADE 60 DEFORMED BLACK BARS CONFORMING TO ASTM A-615. ALL BARS SHALL BE BENT COIL.
 - ALL JOINTS AND VOIDS SHALL BE FILLED WITH NON-SHRINK GROUT. VERTICAL SURFACE VOIDS MAY BE FILLED WITH FOAM SEALANT.
 - TANK DESIGNED USING THE FOLLOWING PROPERTIES:
 - DESIGN LOAD: ASHTO HS-20
 - EARTH COVER:
 - 0-2' FOR WATER TABLE 5' BELOW GRADE.
 - 0-2.5' FOR WATER TABLE 3.5'-5' BELOW GRADE.
 - LATERAL EARTH PRESSURES: DRY - 40 PSF; SAT - 81 PCF
 - ADEQUACY OF THE ABOVE INFORMATION SHALL BE REVIEWED FOR SITE SPECIFIC CONDITIONS BY QUALIFIED LICENSED PROFESSIONAL ENGINEER.
 - ALL EXCAVATED HOLES SHALL BE PREPARED PER OSHA STANDARDS; NOTHING IN THESE PLANS SHALL BE CONSTRUED TO PROVIDE EXCAVATION GUIDANCE. TANK EXCAVATION SHALL BE KEPT DEWATERED THROUGHOUT INSTALLATION AND BACKFILL OPERATIONS.
 - STRUCTURE SHALL BE PLACED AT ELEVATIONS SHOWN ON THE DRAWINGS ON A MINIMUM OF 12" OF COMPACTED CRUSHED STONE WITH AN AGGREGATE SIZE OF 3/4" TO 1 1/2". ALL TOPSOIL, LOOSE FILL, AND DELETERIOUS MATERIALS SHALL BE REMOVED BEFORE PLACING MATERIAL.
 - BACKFILL MATERIAL SHALL BE SCREENED GRAVEL OR SAND, FREE OF DELETERIOUS MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 1 1/2". BACKFILL SHALL EXTEND FOR A MINIMUM DISTANCE OF 3'-0" BEYOND THE HORIZONTAL LIMITS OF THE STRUCTURE. MATERIAL SHALL BE PLACED IN LIFTS NO EXCEEDING 12" AND COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST). ALL COMPACTION SHALL BE DONE WITH HAND-OPERATED COMPACTION EQUIPMENT.
 - IF THERE IS ADDITIONAL INFORMATION PERTINENT TO THE FABRICATION AND INSTALLATION OF THESE UNITS THAT IS NOT CONTAINED WITHIN THE RESOURCES LISTED ABOVE IT SHALL BE BROUGHT TO THE ATTENTION OF MICHIE CONCRETE PRODUCTS. FAILURE TO MAKE SUCH ADDITIONAL INFORMATION AVAILABLE SHALL RELIEVE MICHIE CONCRETE PRODUCTS OF ALL LIABILITIES ARISING FROM ERRORS OR OMISSIONS RELATION TO OMITTED INFORMATION.

30K CISTERN

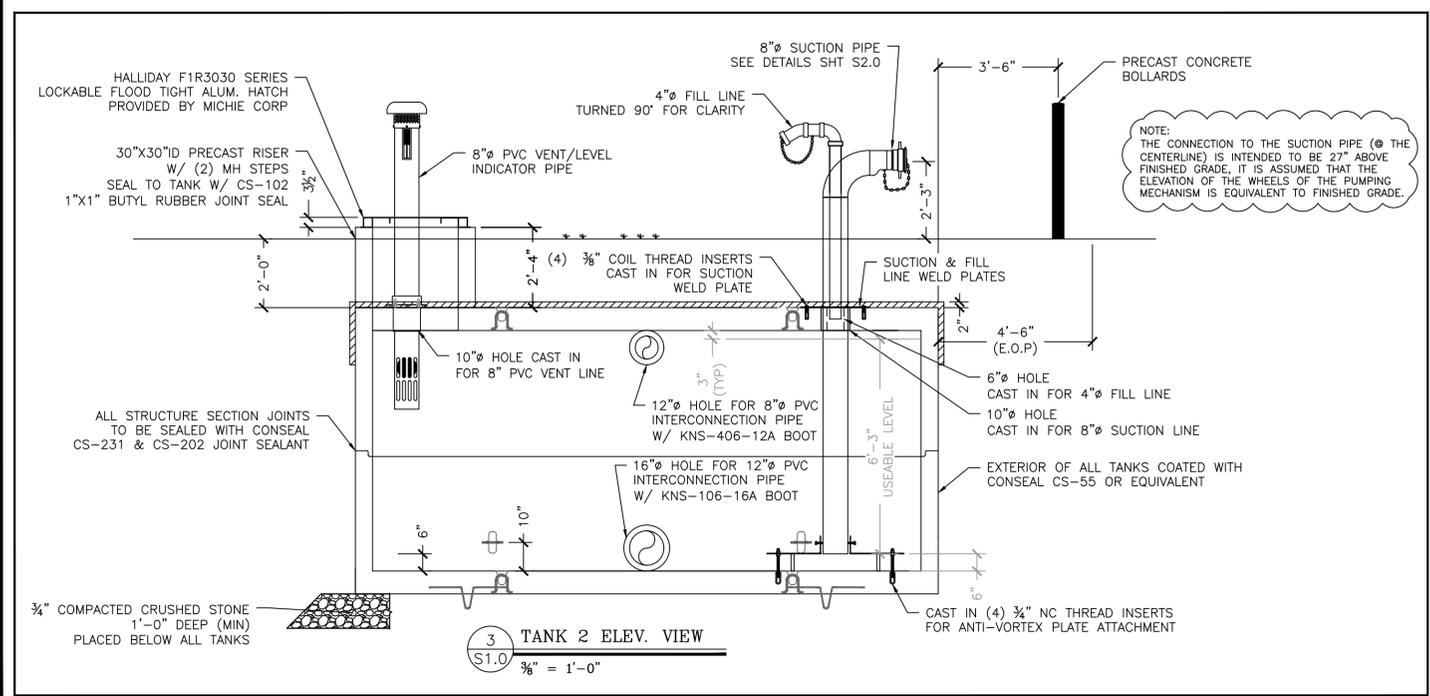
UNIT WEIGHT AND VOLUME:
 ITEM NO: 279350
 TOP SECTION: 31,200# (7.43CY)
 ITEM NO: 279050
 BOTTOM SECTION: 31,785# (7.57CY)

CISTERN USEABLE CAPACITY WITH 3" OF FREEBOARD 20,197 GAL
 (22,621 GAL TO FILL TO CAPACITY)

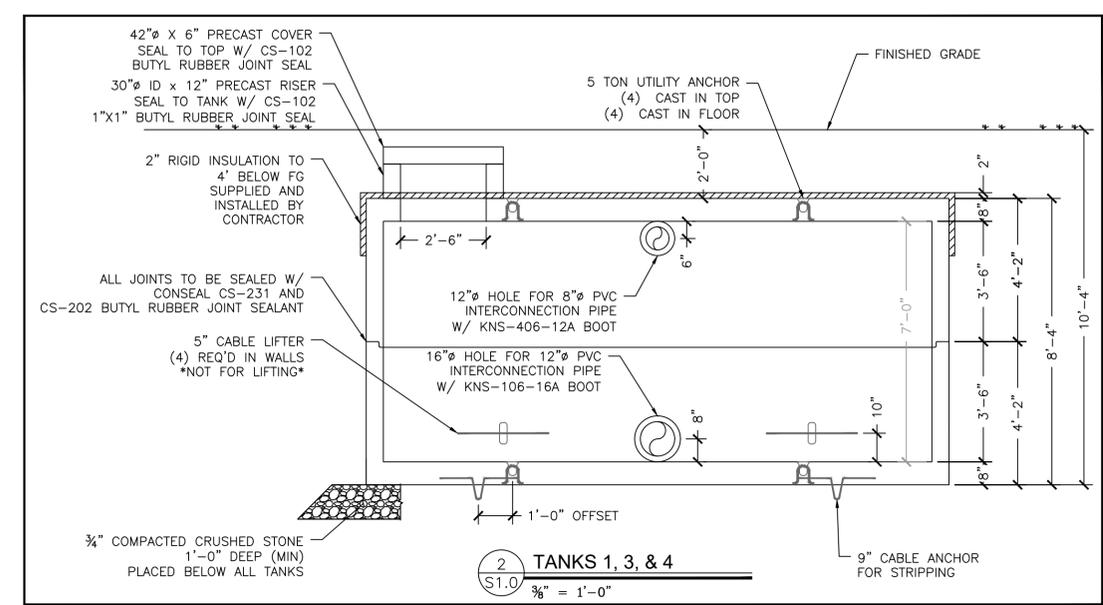


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REV	DATE	DESCRIPTION
1	12/11/26	TOWN COMMENTS
2	1/13/26	AOT APPLICATION
3	10/23/25	3RD PARTY COMMENTS
4	9/18/25	PE COMMENT RESPONSES
5	8/25/25	VALUE ENGINEERING EDITS
6		DESCRIPTION



3 TANK 2 ELEV. VIEW
S1.0 3/8" = 1'-0"

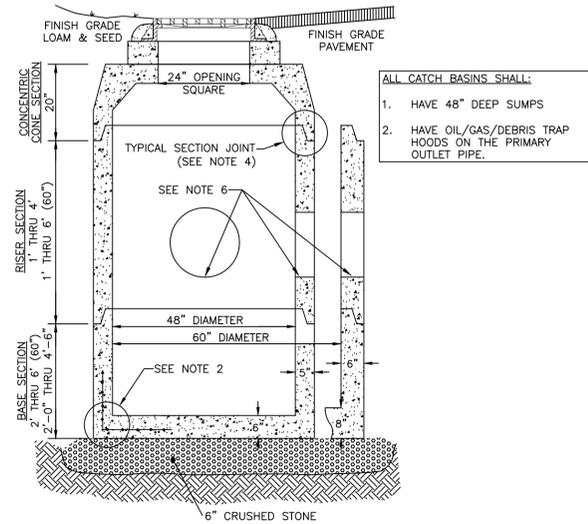
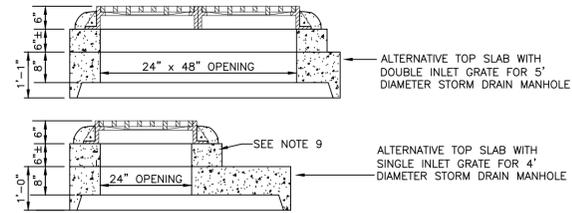


2 TANKS 1, 3, & 4
S1.0 3/8" = 1'-0"

CONCEPTUAL CONDOMINIUM DEVELOPMENT
 FIRE CISTERN DETAILS

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE

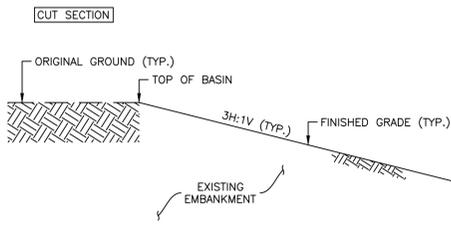
D-3 SHEET
 FILE: 12609V00E.dwg
 PROJECT 12609.00
 SHEET NO. 20 OF 25



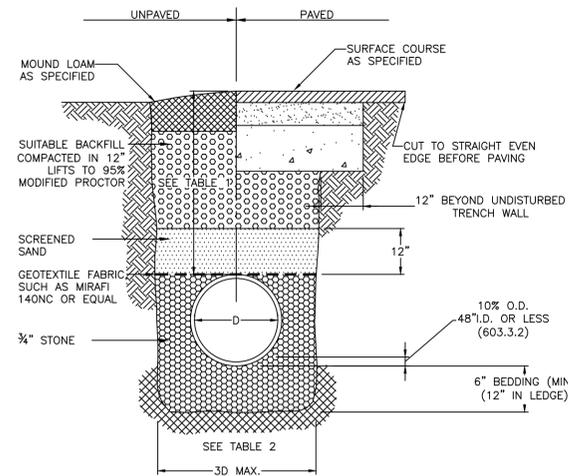
- ALL CATCH BASINS SHALL:
- HAVE 48" DEEP SUMPS
 - HAVE OIL/GAS/DEBRIS TRAP HOODS ON THE PRIMARY OUTLET PIPE.

- NOTES:
- STORM DRAIN MANHOLE SHALL BE SUPPLIED BY CONCRETE SYSTEMS, INC., HUDSON, NH OR EQUAL.
 - REINFORCING STEEL SHALL CONFORM TO THE LATEST ASTM SPECIFICATION: 0.12 SQ.IN./LINEAR FT. AND 0.12 SQ.IN. (BOTH WAYS) BASE BOTTOM.
 - CONCRETE COMPRESSIVE STRENGTH -- 4000 PSI MINIMUM.
 - TYPICAL SECTION JOINT SHALL BE SEALED WITH BUTYL RUBBER AND SHALL CONFORM TO ASTM C443 SPEC. AND FED SPEC. SS-5-210A.
 - MANHOLE DESIGN SPECIFICATIONS SHALL CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS".
 - ALL PIPING SHALL BE SEALED WITH NON SHRINK GROUT.
 - ALTERNATIVE TOP SLAB IS TO BE STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING.
 - INLET GRATE AND FRAME IS TO BE NEEHAW MODEL R-340S FOR SINGLE GRATE AND MODEL R-340S-A FOR A DOUBLE GRATE STRUCTURE, OR EQUAL.
 - INLET FRAME IS TO BE ADJUSTED TO GRADE WITH A MINIMUM OF TWO (2) COURSES OF BRICK OR ONE SOLID CONCRETE RING AND GROUT. SEALED IN PLACE WITH NON SHRINK GROUT.
 - STORM DRAIN MANHOLE IS TO BE SET ON 6" OF 3/4" STONE BEDDING.
 - THE 48" DIAMETER STORM DRAIN MANHOLE SHALL BE RESTRICTED TO PIPES OF 24" IN DIAMETER OR LESS. THE 60" DIAMETER STORM DRAIN SHALL BE RESTRICTED TO PIPES OF 36" IN DIAMETER OR LESS.
 - ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
 - ALL CATCH BASINS SHALL:
 - HAVE 48" SUMPS
 - HAVE OIL/GAS/DEBRIS TRAP HOODS ON THE PRIMARY OUTLET PIPE

STORMSEWER CATCH BASIN (CB) SCALE: NONE **1** **D-4**



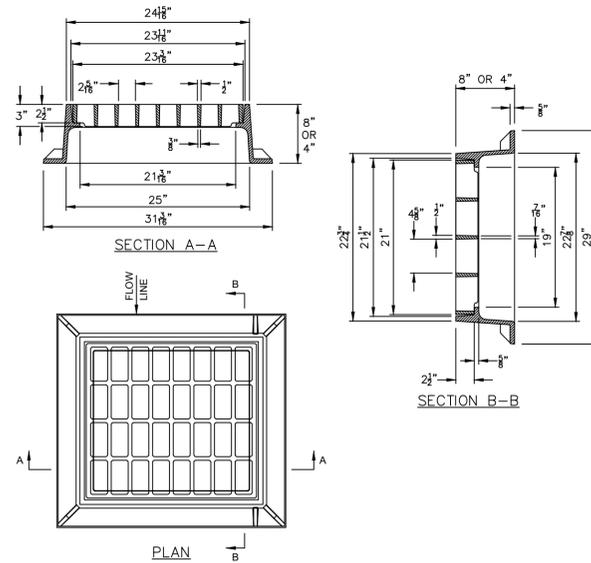
STORMWATER BASIN - SURFACE INFILTRATION BASIN



LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	3 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

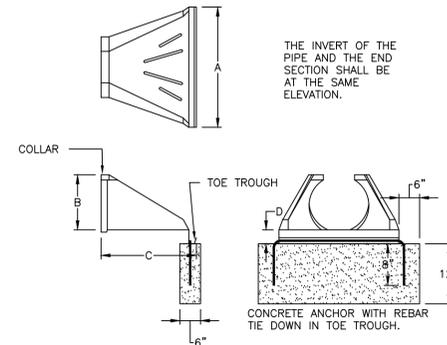
TYPICAL DRAINAGE PIPE TRENCH SCALE: NONE **2** **D-4**



- NOTES:
- ALL DIMENSIONS ARE NOMINAL.
 - FRAME AVAILABLE IN 4" OR 8" HEIGHTS.
 - FREE OPEN AREA = 2.55 S.F.
 - USE 3-FLANGE FRAME IF INSTALLED AGAINST GRANITE CURB.

DRAINAGE STRUCTURE FRAME & GRATE (TYPE B) SCALE: NONE **3** **D-4**

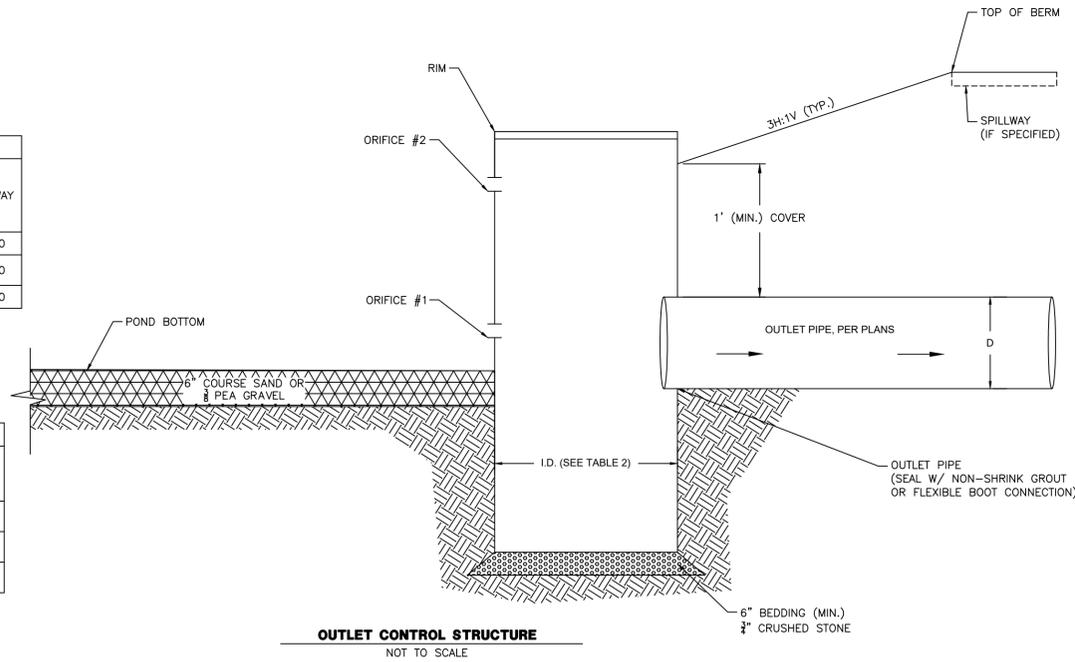
DIMENSION	10-12	15	18	24	30	36
A	42	41	49	59.50	88	88
B	14.50	19	22	28	36	43
C	33	34	43	48	63.50	66.50
D	6	6	6	6	6	6



FLARED END SECTION (FES) - HDPE SCALE: NONE **4** **D-4**

STORMWATER POND	OUTLET CONTROL STRUCTURE		RIM	ORIFICE #1	ORIFICE #2	OUTLET PIPE		SPILLWAY		
	TYPE	INNER DIMENSIONS				ELEVATION	DESCRIPTION			
IB-A	CIRCULAR	4'	360.50	TYPE B	359.75	3" #	---	357.00	18"	360.50
IB-B	---	---	---	---	---	---	---	---	---	356.50
IB-C	---	---	---	---	---	---	---	---	---	355.50

SURFACE BASIN	TOP OF BERM/BASIN	BOTTOM OF BASIN	TEST PIT NUMBER	ORIGINAL GROUND	DEPTH TO SHWT (IN)	SHWT ELEVATION	BOTTOM OF BASIN SEPARATION TO SHWT
INFILTRATION BASIN A	361.00	357.00	9	354.73	29	352.31	4.69
INFILTRATION BASIN B	357.00	353.00	18	354.00	48	350.00	3.00
INFILTRATION BASIN C	356.00	352.00	3	352.00	46	348.17	3.83



OUTLET CONTROL STRUCTURE NOT TO SCALE

US STANDARD SIEVE SIZE (IN/MM)	PERCENT PASSING
3"	100
3/4"	75-100
#4	65-90
#40	10-70
#100	25-60
#200	15-50

SCALE: NONE **5** **D-4**



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4	9/18/25	PE COMMENT RESPONSES	JJA	SRF
5	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF
6		DESCRIPTION		CK

CONCEPTUAL CONDOMINIUM
DEVELOPMENT
DRAINAGE DETAILS

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

D-4
SHEET

FILE: 12609V00E.dwg
PROJECT: 12609.00
SHEET NO. 21 OF 25

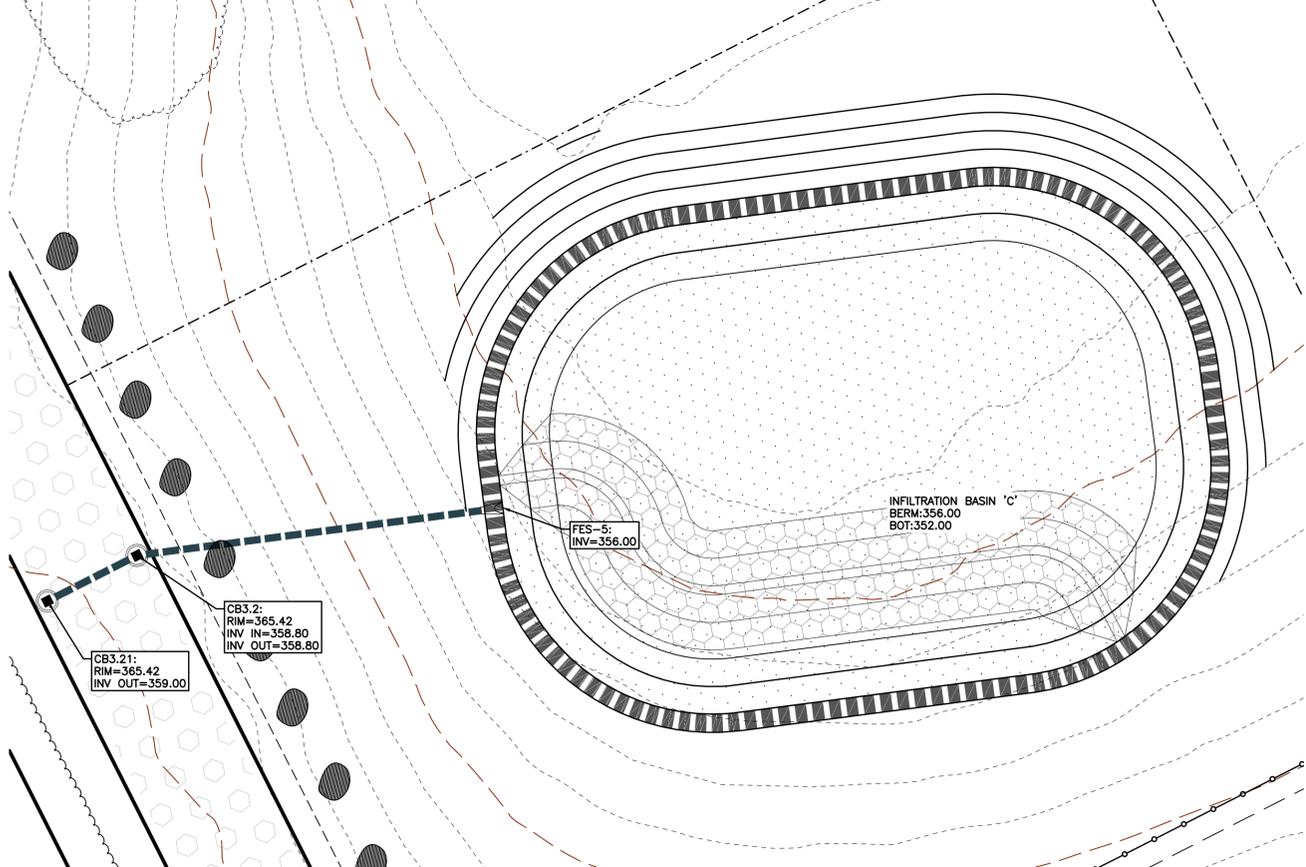
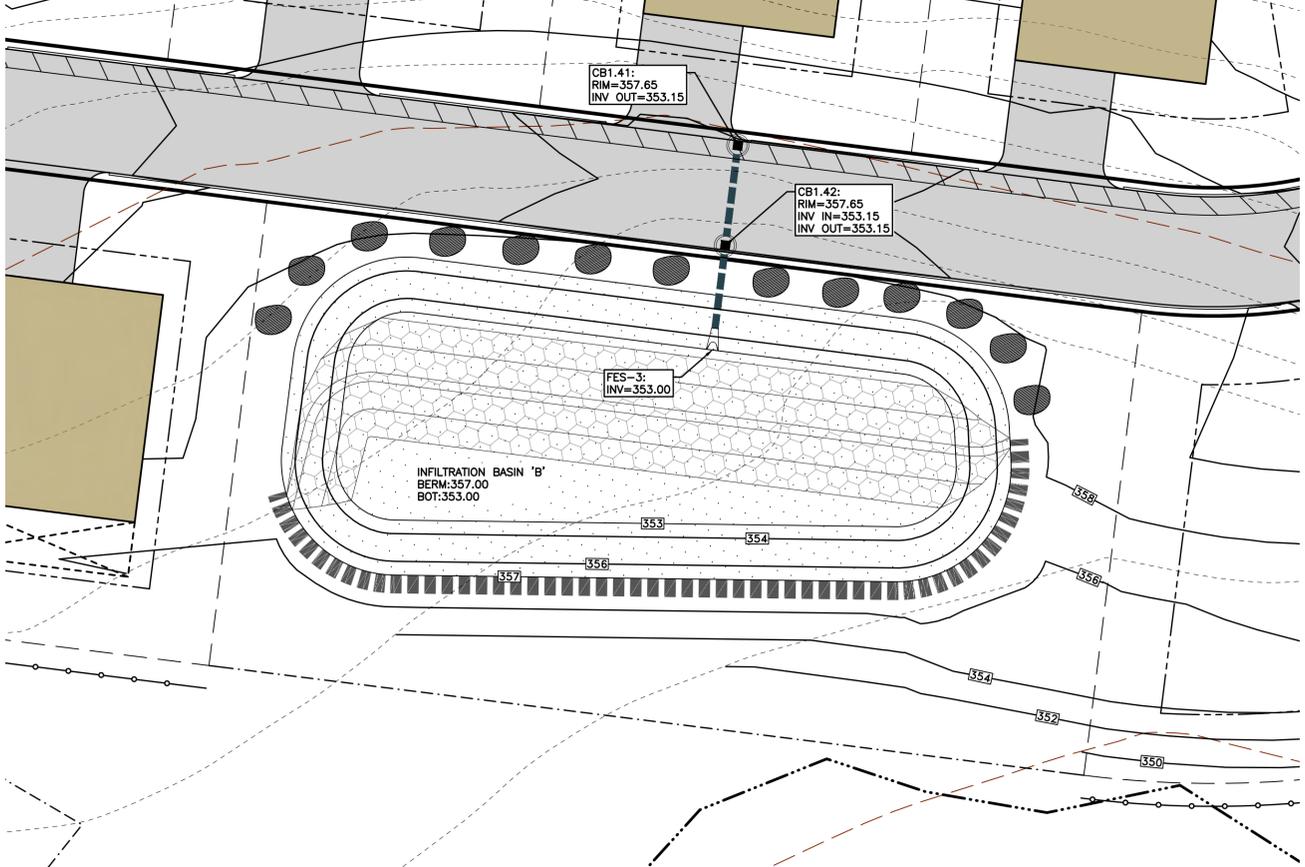
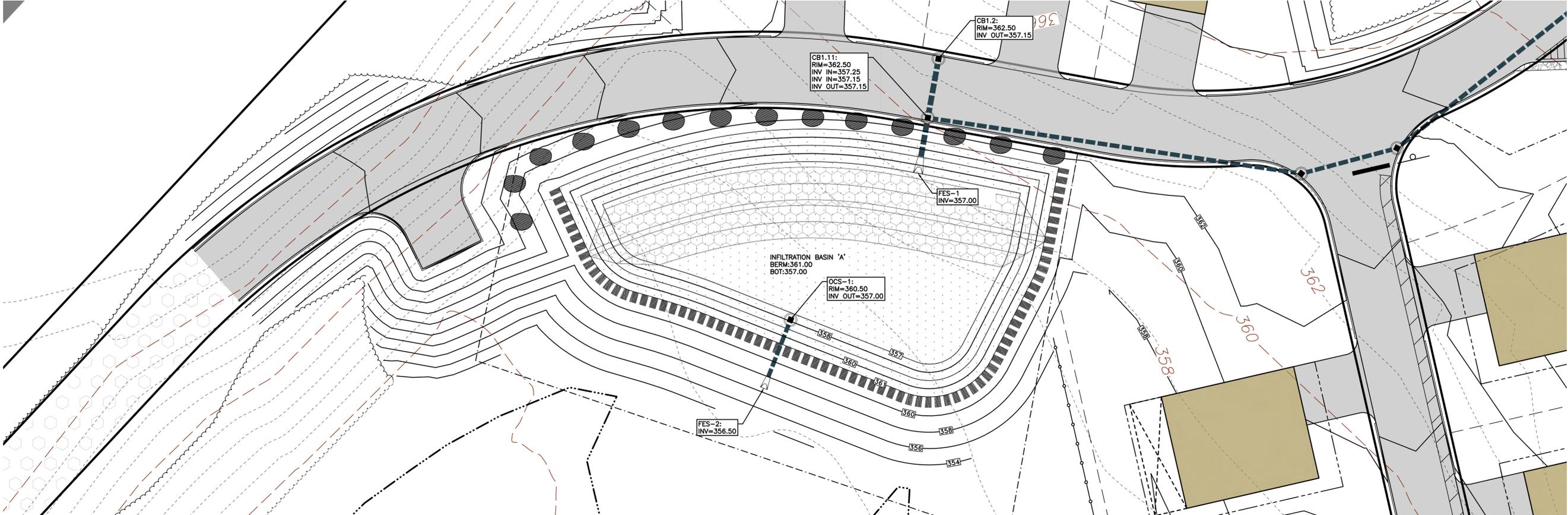
SCALE: AS NOTED

JUNE 3, 2025

REV. DATE DESCRIPTION DR CK

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REV.	DATE	DESCRIPTION	DR	CK
I				
H				
G				
F				
E	2/11/26	TOWN COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
B	9/18/25	PE COMMENT RESPONSES	JJA	SRF
A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF

CONCEPTUAL CONDOMINIUM
DEVELOPMENT
INFILTRATION BASINS
DETAILED VIEWS

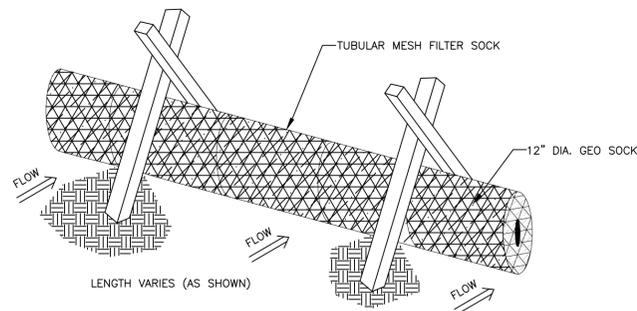
114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

D-5
SHEET

FILE: 12609V00E.dwg
PROJECT 12609.00
SHEET NO. 22 OF 25

JUNE 3, 2025

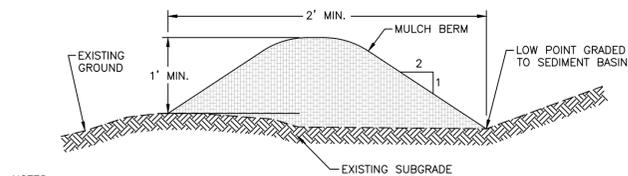
SCALE: AS NOTED



- NOTES:**
1. THE COMPOST SOCK SHALL BE A MESH TUBE FILLED WITH COMPOSTED MATERIAL.
 2. MINIMAL CLEARING MAY BE REQUIRED TO INSTALL FILTER SOCKS.
 3. INSTALL FILTER SOCKS PRIOR TO ANY CLEARING OR GRUBBING.

COMPOST SOCK

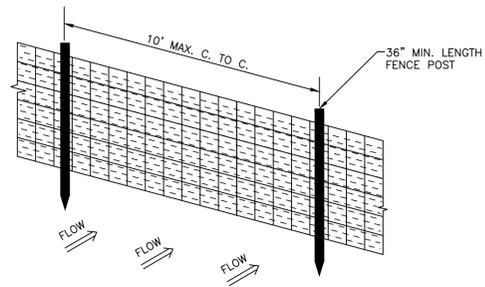
SCALE: NONE **1**
D-6



- NOTES:**
1. MULCH BERM MUST CONSIST PRIMARILY OF ORGANIC MATERIAL AND MAY INCLUDE THE FOLLOWING: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK OR ACCEPTABLE MANUFACTURED WOOD PRODUCTS.
 2. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPOSESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.
 3. EROSION CONTROL MIX SHOULD CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER.
 4. THE ORGANIC MATTER CONTENT SHOULD BE BETWEEN 25% AND 65% ON A DRY WEIGHT BASIS.
 5. THE MIX SHOULD NOT CONTAIN SILTS, CLAYS OR SANDS.
 6. REFER TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3 SECTION 4.2 FOR COMPLETE DETAILS.

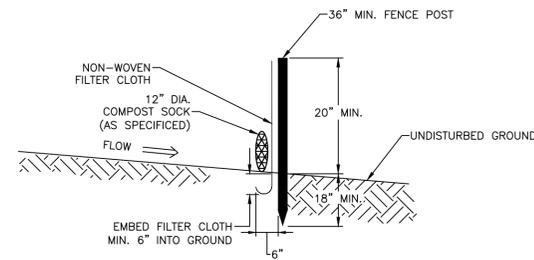
TYPICAL MULCH BERM - ALTERNATE

SCALE: NONE **4**
D-6



SILTATION FENCE

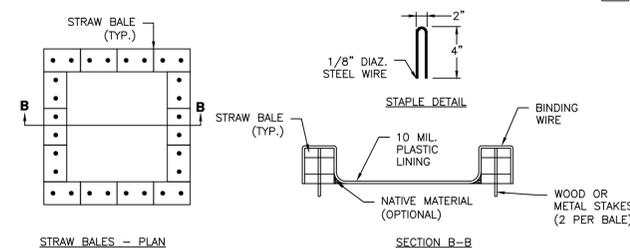
SCALE: NONE **2**
D-6



- NOTES:**
1. COMPOST SOCK SHALL BE FILTREXX SILTOSXX ORIGINAL 8"Ø OR EQUAL.
 2. COMPOST SOCK MUST BE MAINTAINED ON A CONTINUAL BASIS.
 3. SEDIMENT SHALL BE REMOVED AS REQUIRED TO PREVENT ACCUMULATION TO 1/3 THE HEIGHT OF THE SOCK (2"±).

INLET PROTECTION ~ COMPOST SOCK

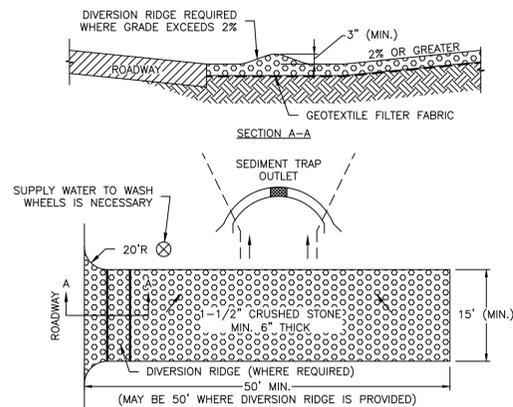
SCALE: NONE **5**
D-6



- NOTES:**
1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
 2. THE CONCRETE WASHOUT AREA WILL BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. THE ACTUAL LAYOUT SHALL BE DETERMINED IN THE FIELD.
 3. THE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. THE WASHOUT AREA MUST BE CLEANED, OR A NEW WASHOUT AREA MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
 4. THE CONCRETE WASHOUT SIGN SHALL BE PLACED WITHIN 30' OF THE WASHOUT AREA. ADDITIONAL SIGNS SHOULD BE CONSTRUCTED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 5. THE CONCRETE WASHOUT AREA SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DISCHARGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS TO PREVENT DISTURBANCE OR TRACKING. VEHICLE TRACKING CONTROL IS REQUIRED AT CONCRETE WASHOUT ENTRANCE IF ACCESS TO AREA IS OFF PAVEMENT.
 6. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL. POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
 7. WHEN THE CONCRETE WASHOUT AREA IS NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE AND MATERIAL USED TO CONSTRUCT THE WASHOUT AREA SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED WASTE SITE.
 8. WHEN THE CONCRETE WASHOUT ARE IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE ENGINEER.

CONCRETE WASHOUT AREA

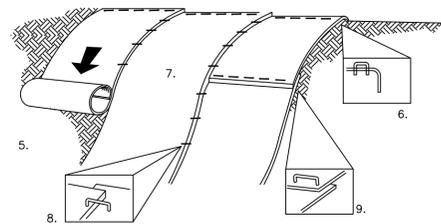
SCALE: NONE **3**
D-6



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRED TOP-DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION EXIT

SCALE: NONE **6**
D-6



- CONSTRUCTION REQUIREMENTS AND SLOPE APPLICATIONS:**
1. MATS SHALL BE STRAW/COCONUT FIBER EROSION CONTROL TURF REINFORCEMENT MAT SUCH AS NORTH AMERICAN GREEN SC1508N OR EQUAL.
 2. THE USE OF ANY EROSION CONTROL MAT WHICH CONTAINS ANY WELDED PLASTIC OR BIODEGRADABLE PLASTIC THREAD OR NETTING IS STRICTLY PROHIBITED.
 3. THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1" AND A LENGTH OF 6".
 4. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
 5. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROLL OF STAPLES OR STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET WITH A ROW OF STAPLES/STAKES PLACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 6. ROLL THE BLANKETS DOWN THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
 7. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE BLANKET TYPE.
 8. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE OVERLAPPED AREA APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE BLANKETS.

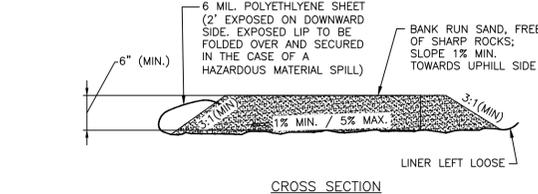
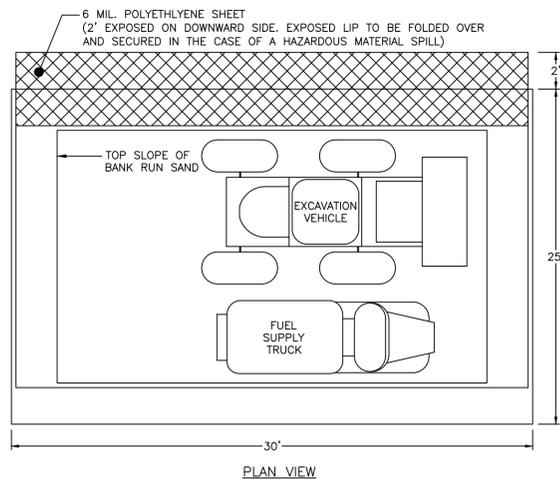
THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE REFERTILIZED, RESEEDED AND REMULCHED AS DIRECTED.

THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL USED.

TURF REINFORCEMENT MATS SHALL BE COVERED WITH SOIL TO PREVENT EXPOSURE OF THE MATS TO THE SURFACE.

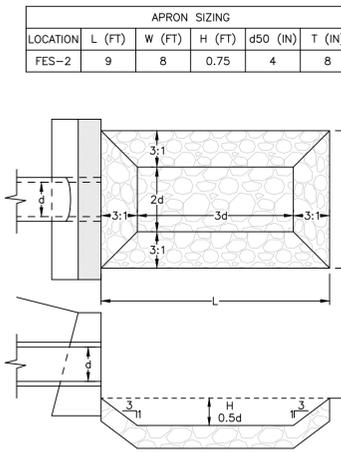
SLOPE STABILIZATION TURF REINFORCEMENT MAT

SCALE: NONE **7**
D-6



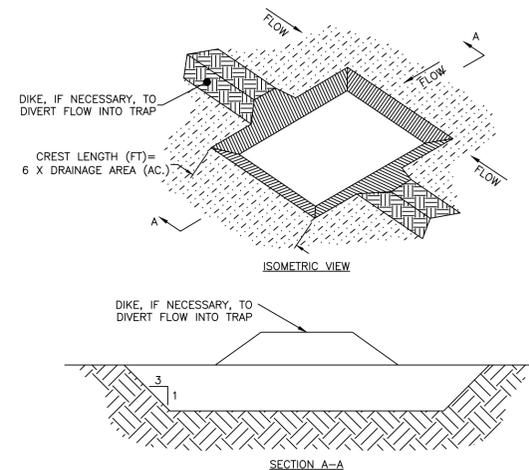
TEMPORARY VEHICLE MAINTENANCE PAD

SCALE: NONE **8**
D-6



PERMANENT OUTLET PROTECTION - RIP RAP SCOUR HOLE

SCALE: NONE **9**
D-6



- NOTES:**
1. SEDIMENT TRAPS SHOULD BE LOCATED SO THEY CAN BE INSTALLED PRIOR TO DISTURBING THE AREA THEY ARE TO PROTECT.
 2. THE TRAP SHOULD BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
 3. THE MAXIMUM CONTRIBUTING AREA TO THE TRAP SHOULD BE LESS THAN 5 ACRES.
 4. THE MINIMUM VOLUME OF THE TRAP SHOULD BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 5. THE SIDE SLOPES OF THE TRAP SHOULD BE 3:1 OR FLATTER, AND SHOULD BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 6. THE MINIMUM LENGTH-TO-WIDTH RATIO OF THE TRAP SHOULD BE 2:1 (L:W).
 7. FOR CONCENTRATED FLOW ENTERING THE TRAP, ENERGY DISSIPATION AT THE POINT OF INFLOW SHOULD BE PROVIDED.
 8. THE OUTLET PIPE SHOULD EXTEND THROUGH THE EMBANKMENT AT A MINIMUM SLOPE OF 0.5 PERCENT.
 9. REFER TO THE CURRENT EDITION OF THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOL. 3: CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS.

- INSTALLATION NOTES:**
1. BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
 2. TRAP SHOULD BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS FOR STORMWATER CONTROL.
 3. EMBANKMENT MATERIAL SHOULD CONSIST OF DEBRIS FREE SOIL, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT PASSING THE NO. 200 SIEVE.
 4. EMBANKMENT SHALL BE COMPACTED TO AT MINIMUM 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
 5. PIPE SCH 40 OR GREATER SHOULD BE USED.

- MAINTENANCE NOTES:**
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATION CONDITION. MAINTENANCE SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs WITHIN 24 HOURS OF A STORM CAUSING SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. REPAIRS OR CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. REPAIR OR REPLACE BMPs UPON FAILURE.
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS NEEDED.
 5. THE TRAP IS TO REMAIN IN PLACE UNTIL THE DISTURBED AREA HAS BEEN STABILIZED AND GRASS COVER IS ACCEPTED BY LOCAL JURISDICTION.

EARTH OUTLET SEDIMENT TRAP

SCALE: NONE **10**
D-6



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5	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF

CONCEPTUAL CONDOMINIUM DEVELOPMENT AND SEDIMENTATION CONTROL DETAILS

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE

D-6
SHEET
FILE: 12609V00E.dwg
PROJECT 12609.00
SHEET NO. 23 OF 25

- THE PROJECT DISTURBS MORE THAN ONE (1) ACRE OF LAND AND REQUIRES A CONSTRUCTION GENERAL PERMIT (CGP) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AS PART OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II STORMWATER ACT PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT (NOI) WITH THE EPA. THE CONTRACTOR SHALL CONFIRM THAT THE OWNER HAS ALSO FILED AN NOI.
- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROLS, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWENTY FOUR HOURS AFTER EACH STORM EVENT (0.25" OR GREATER) AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE WAYS AND PROTECTED AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS (IE WETLANDS, STREAMS, ETC.) WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSITED.
- THE CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM AMOUNT OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN DEBRIS AND SEDIMENT FROM THE DRAINAGE SYSTEM.
- AREAS REMAINING UNSTABILIZED FOR A PERIOD OF MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1-1/2 TONS/ACRE.
- PERMANENT SEEDING SHALL OCCUR BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND OCTOBER 15. ALL SEEDING SHALL BE HAY MULCHED.
- DUST SHALL BE CONTROLLED THROUGH THE USE OF WATER.
- SOILS TO BE STOCKPILED FOR A PERIOD OF MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED. THE CONTRACTOR SHALL INSTALL SILT FENCE AND OR COMPOST SOCK ALONG THE DOWNHILL SIDE OF THE STOCKPILE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SEDIMENTATION BASINS AND TEMPORARY DIVERSION SWALES TO CONTROL SEDIMENTATION AND STORMWATER RUNOFF DURING THE CONSTRUCTION PERIOD, THAT MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES).
- THE CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROLS TO INSURE THAT SURFACE WATER RUNOFF FROM UNSTABILIZED AREAS DOES NOT CARRY SILT, SEDIMENT, AND OTHER DEBRIS OUTSIDE THE SITE WORK AREA.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED AND COMPACTED TO A MINIMUM OF 90% OF THE DRY UNIT WEIGHT;
 - A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3-IN OF NON EROSION MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED;
 - THE AREA HAS BEEN PAVED WITH BITUMINOUS ASPHALT CONCRETE, PORTLAND CEMENT CONCRETE, OR SIMILAR COVERS.

- AT NO TIME SHALL THE TOTAL DISTURBED AREA BE GREATER THAN FIVE (5) ACRES.
- ALL DITCHES, SWALES, STORMWATER BASINS, OR OTHER DRAINAGE FEATURES SHALL BE FULLY STABILIZED PRIOR TO DIRECTING STORMWATER TO THEM.
- ALL DRIVEWAYS, ROADWAYS, AND/OR PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3-FT HORIZONTAL TO 1-FT VERTICAL (3:1). EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
- THE CONTRACTOR SHALL APPLY FOR AND RECEIVE AN NHDES GROUNDWATER DISCHARGE PERMIT, PRIOR TO CONDUCTING ANY DEWATERING EFFORTS AND/OR PUMPING OF GROUNDWATER.
- EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.

22. ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 6" OF LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW. THE SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.5 POUNDS PER 1,000 SQ. FT.

AND SHALL BE MIXED AS FOLLOWS:

TYPICAL LAWN SEED	SLOPE SEED
CREeping RED FESCUE 0.87 LBS.	CREeping RED FESCUE 1.01 LBS
KENTUCKY BLUEGRASS 0.71 LBS.	RYE GRASS 0.75 LBS.
RYE GRASS 0.58 LBS.	RED TOP 0.18 LBS.
RED TOP 0.14 LBS.	ALSIKE CLOVER 0.18 LBS
	BIRDSFOOT TREFOL 0.18 LBS

- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1,000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-20S-42O) OR EQUIVALENT (LOW PHOSPHORUS FERTILIZER IS DEFINED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT AS LESS THAN 2% PHOSPHORUS). APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
- FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 FEET AND 250 FEET FROM A SURFACE WATER BODY AS SPECIFIED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT (SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT). NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE LIMITATIONS ARE REQUIREMENTS.
- PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
- WHEN PROJECT ACTIVITIES ARE WITHIN 50 FEET OF A WATER BODY OR WETLAND, DOUBLE ROW OF EROSION CONTROL IS REQUIRED.
- ALL AREAS OF UNSTABILIZED SOIL SHALL BE:
 - TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 45 DAYS OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT, OR AN INDEPENDENT MONITOR; AND
 - PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT IN ALL CASES WITHIN 3 DAYS OF FINAL GRADING.

EROSION CONTROL NOTES SCALE: NONE **1** **D-7**

- ALL EROSION CONTROL AND CONSTRUCTION SEQUENCE NOTES APPLY TO THE CONSTRUCTION AND RECLAMATION OF THE PROPOSED STUMP COMPOST AREAS
- IF THE STUMP COMPOST AREA IS EXCAVATED FOR ROAD CONSTRUCTION MATERIAL, UPON COMPLETION, ALL DISTURBED AREAS SHALL BE GRADED, LOAMED AND SEEDED PER THE EROSION CONTROL NOTES.
- THE AREA TO RECEIVE THE STUMPS SHALL BE EXCAVATED SUFFICIENTLY TO PROVIDE AN ADEQUATE QUANTITY OF MATERIAL TO COVER THE STUMPS.
- THE STUMPS SHALL BE PLACED IN LAYERS AND COVERED WITH THE EXCAVATED MATERIAL TO FILL ALL VOIDS. EACH LAYER SHALL BE COMPACTED PRIOR TO THE PLACEMENT OF THE NEXT LAYER.
- THE FINAL LAYER OF STUMPS SHALL BE COVERED, GRADED AND COMPACTED. LOAM AND SEED PER THE EROSION CONTROL NOTES.

STUMP DUMP RECLAMATION SCALE: NONE **2** **D-7**

- ALL POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE RIPRAP OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

WINTER CONSTRUCTION SCALE: NONE **3** **D-7**

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF NHDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. MERIDIAN LAND SERVICES, INC., AS DESIGN ENGINEER, SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- THE OWNER AND/OR CONTRACTOR SHALL VERIFY ALL ZONING REQUIREMENTS FOR CONFORMANCE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT "DIGSAFE" (811) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND SPECIAL CONDITIONS OF TOWN/CITY AGENCIES, SUCH AS THE PLANNING BOARD, CONSERVATION COMMISSION, AND OTHERS, IS MANDATORY AND IS THE RESPONSIBILITY OF THE OWNER.
- ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS TOWN BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND MERIDIAN LAND SERVICES, INC. PRIOR TO CONSTRUCTION.
- ALL DRAINAGE STRUCTURES SHALL CONFORM TO NHDOT STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE FOR INSPECTIONS OF THE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ACCURATE AS-BUILT INFORMATION OF ALL WORK, ESPECIALLY UNDERGROUND CONSTRUCTION OF UTILITY LINES, SERVICES, CONNECTIONS, ETC. AND APPROPRIATE TIES TO ABOVE GROUND PERMANENT STRUCTURES, FIELD SURVEY COORDINATES, OR SOME OTHER METHOD OF ESTABLISHING THE AS-BUILT CONDITION OF ALL CONSTRUCTION.

CONSTRUCTION NOTES SCALE: NONE **4** **D-7**

- TEMPORARY PROTECTION OF DISTURBED AREAS SHALL BE IMPLEMENTED WHERE A TEMPORARY STAND OF GRASS OR SMALL GRAINS WILL NORMALLY PRODUCE SUFFICIENT COVER TO RETARD EROSION AND REDUCE SEDIMENT.
- USE OF TEMPORARY SEEDING SHALL BE IMPLEMENTED WHEN A DISTURBED AREA OR MATERIAL STOCKPILE WILL BE INACTIVE FOR A PROLONGED PERIOD OF TIME.
- ALL ESSENTIAL GRADING SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION SHALL BE COMPLETED PRIOR TO SEEDING.
- PREPARE SEEDBED BY REMOVING ALL STONES, TRASH AND STUMPING DEBRIS THAT WILL INTERFERE WITH SEEDING AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT 3 INCHES TO PREPARE SEEDBED AND MIX FERTILIZER INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATIONS SHOULD BE PERFORMED ACROSS THE SLOPE.
- A MINIMUM OF 300 POUNDS PER ACRE (7 LBS. PER 1,000 SQ.FT.) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHALL BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL.
- THE SEED SHALL BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, THE SEED SHALL BE COVERED LIGHTLY BY RAKING, DISKING, OR DRAGGING.
- HAY OR STRAW MULCH MAY BE NECESSARY TO PROMOTE SEED GERMINATION IN DRY AND/OR INFERTILE CONDITIONS.
- PLANT SELECTION AND APPLICATION RATES:

SPECIES	RATE 1 (LBS./AC.)	RATE 2 (LBS./1,000 S.F.)	REMARKS
WINTER RYE	112	2.5	FALL, 8/15 TO 9/15 PLANT 1.0 INCH DEEP
OATS	80	2.0	SPRING PRIOR TO 5/15 PLANT 1.0 INCH DEEP
ANNUAL RYEGRASS	40	1.0	QUICK, SHORT DURATION GOOD APPEARANCE EARLY SPRING & FALL PLANT 0.25 INCH DEEP
PERENNIAL RYEGRASS	30	0.7	LASTS LONGER THAN ANNUAL LATE SPRING & FALL MULCHING WILL ALLOW USE ALL SEASON PLANT 0.5 INCH DEEP

SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS SCALE: NONE **5** **D-7**

- INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
- CUT AND CLEAR TREES; DISPOSE OF DEBRIS.
- INSTALL PERIMETER EROSION AND SEDIMENTATION CONTROLS IN LOCATIONS SHOWN ON PLANS. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
- PULL STUMPS AND REMOVE FROM SITE OR MULCH TO USE ON-SITE FOR EROSION CONTROL. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
- CONSTRUCT PONDS, SWALES AND LEVEL SPREADERS DURING INITIAL PORTION OF CONSTRUCTION, PRIOR TO ROUGH GRADING THE SITE. STABILIZE IMMEDIATELY WITH LOAM AND SEED PER THE EROSION CONTROL NOTES. DO NOT DIRECT STORM WATER RUNOFF TO PONDS, SWALES OR LEVEL SPREADERS UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
- ROUGH GRADE THE SITE INCLUDING ROADS AND DITCHES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE THE EROSION CONTROL NOTES.
- EXCAVATE FOR AND CONSTRUCT THE FOUNDATION OF THE PROPOSED BUILDING(S). CONSTRUCT BUILDING(S).
- INSTALL DRAINAGE PIPES AND STRUCTURES; PLACE SEDIMENT FILTERS IN CATCH BASINS UNTIL ALL NON-PAVED DISTURBED AREAS HAVE A HEALTHY VEGETATIVE COVER.
- INSTALL UNDERGROUND UTILITIES: WATER, SEWER, TELEPHONE, ELECTRICAL.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ANY RAINFALL OF 0.50" OR MORE.
- AS REQUIRED, CONSTRUCT TEMPORARY BASINS, BERMS, CULVERTS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- FINISH GRADING THE SITE. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BASE PAVE ACCESS DRIVE AND PARKING AREAS. INSTALL CURBING AND FINISH PAVE DRIVE, PARKING, AND SIDEWALKS.
- APPLY LOAM. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- LOT DISTURBANCE OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

CONSTRUCTION SEQUENCE SCALE: NONE **6** **D-7**

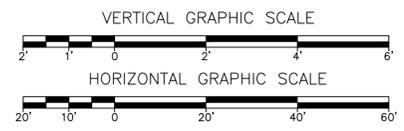
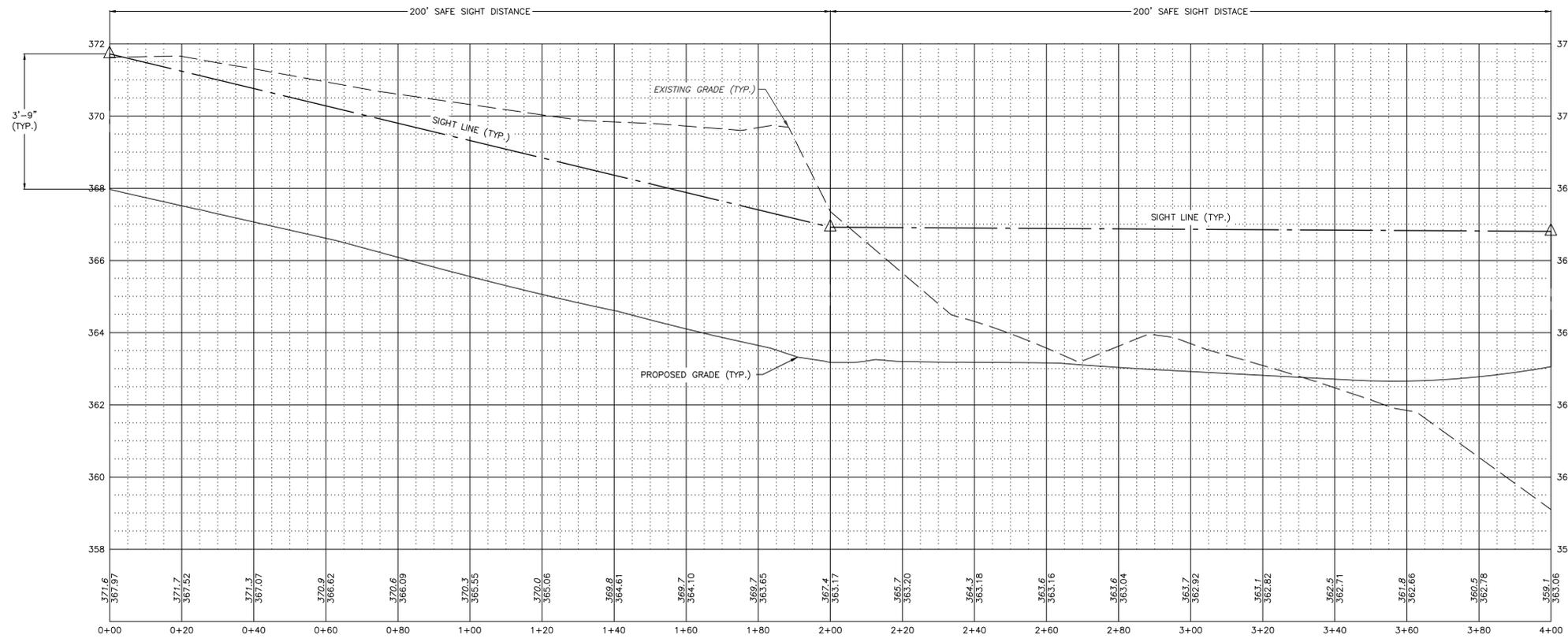
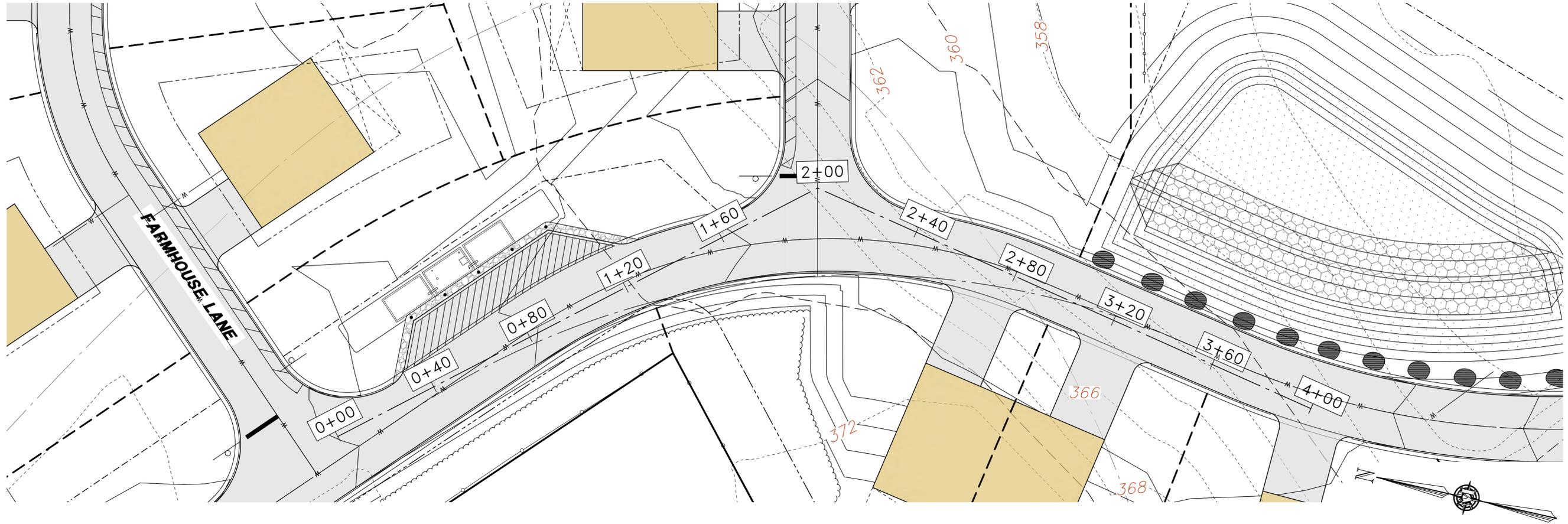


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REV	DATE	DESCRIPTION
1	2/11/26	TOWN COMMENTS
2	1/13/26	AOT APPLICATION
3	10/23/25	3RD PARTY COMMENTS
4	9/18/25	PE COMMENT RESPONSES
5	8/25/25	VALUE ENGINEERING EDITS

CONCEPTUAL CONDOMINIUM DEVELOPMENT AND SEDIMENTATION CONTROL NOTES

114 WEST ROAD, LLC
114 WEST ROAD
MAP 248 LOT 8
CANTERBURY, NEW HAMPSHIRE



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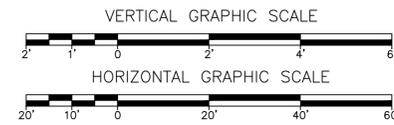
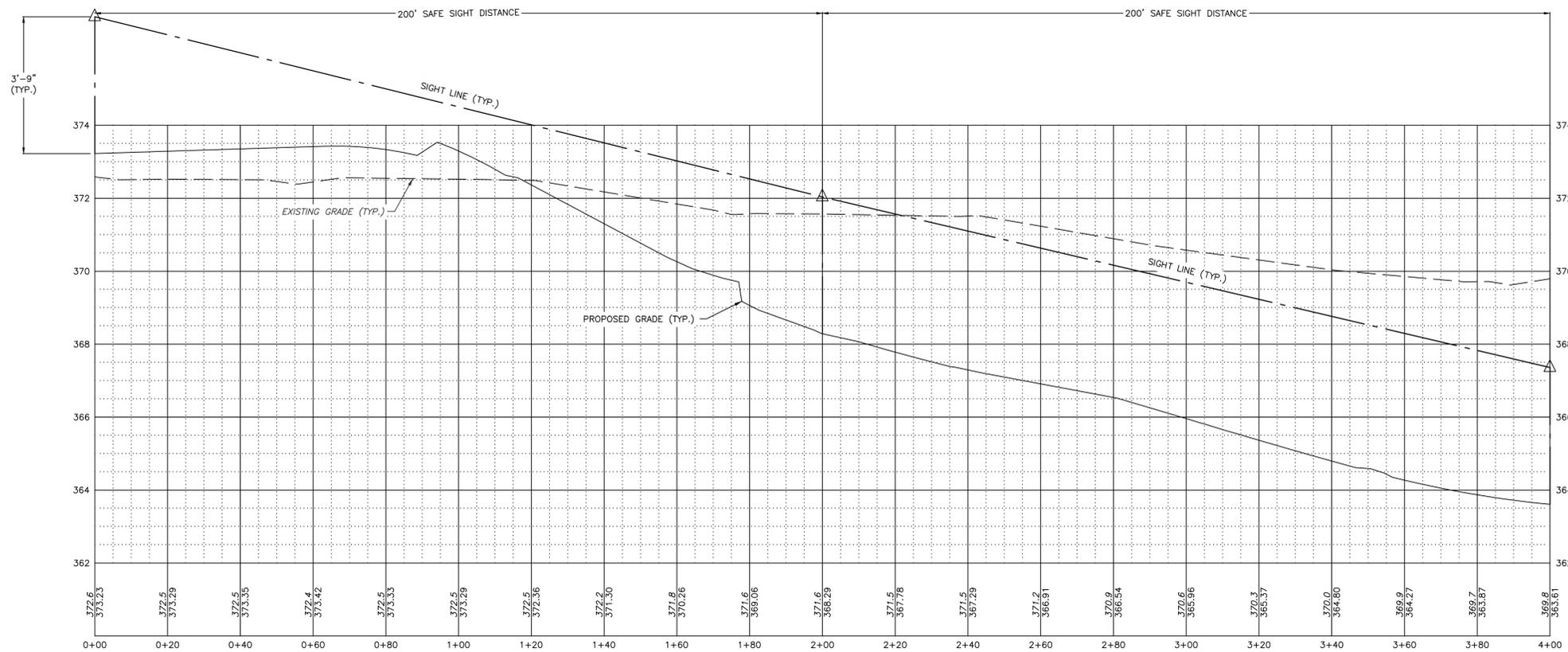
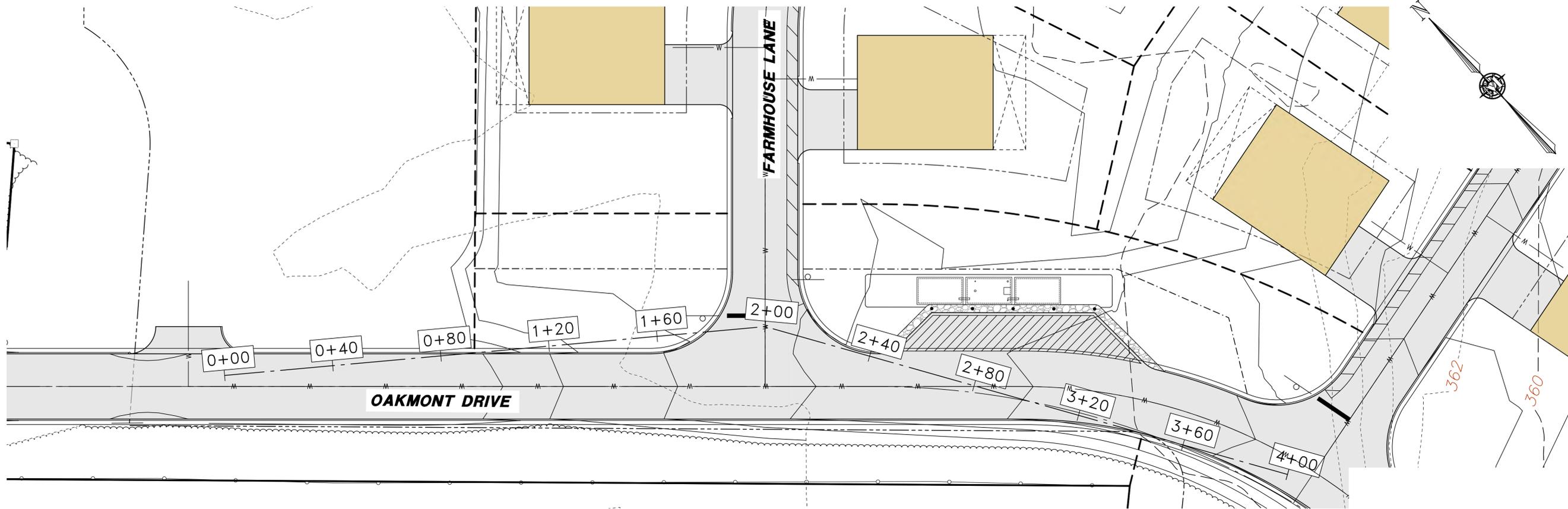
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A	8/25/25	VALUE ENGINEERING EDITS	JJA	SRF
B	9/18/25	PB COMMENT RESPONSES	JJA	SRF
C	10/23/25	3RD PARTY COMMENTS	JJA	SRF
D	1/13/26	AOT APPLICATION	JJA	SRF
E	2/11/26	TOWN COMMENTS	JJA	SRF

HILDRETH'S FARM
 DEVELOPMENT
 SIGHT DISTANCE PLAN & PROFILE
 JUNE 3, 2025

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 40'

SD-1
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 SHEET NO. 1 OF 3

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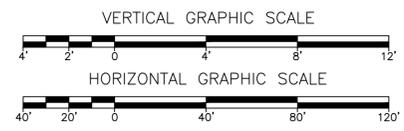
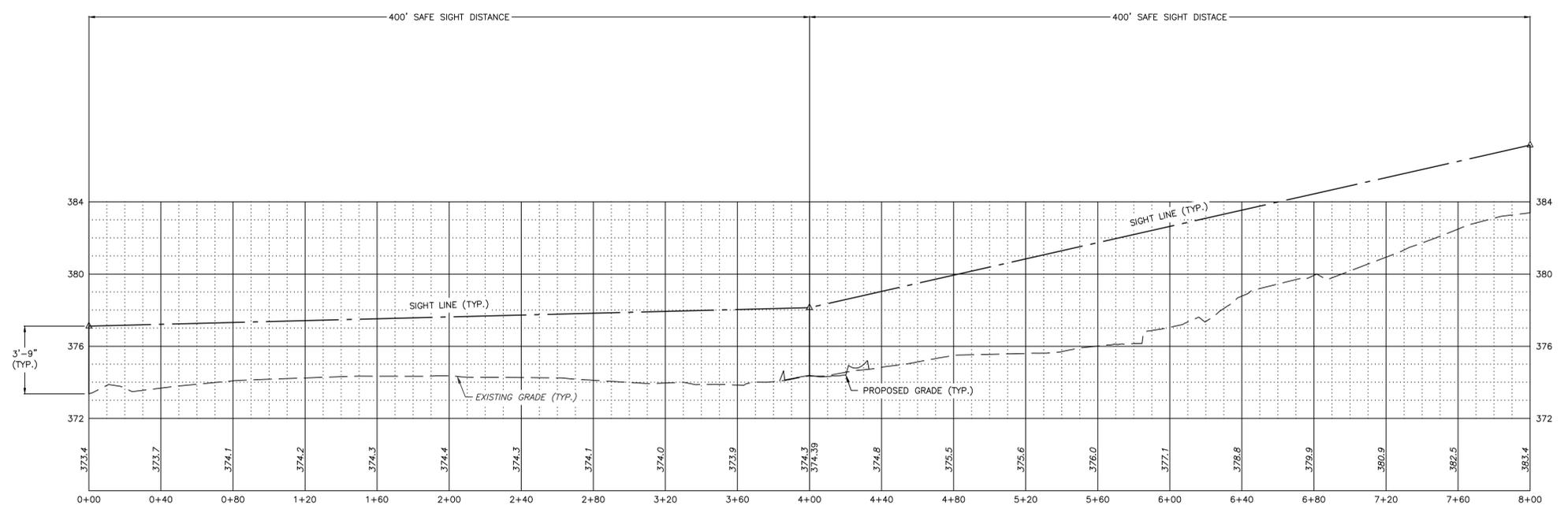
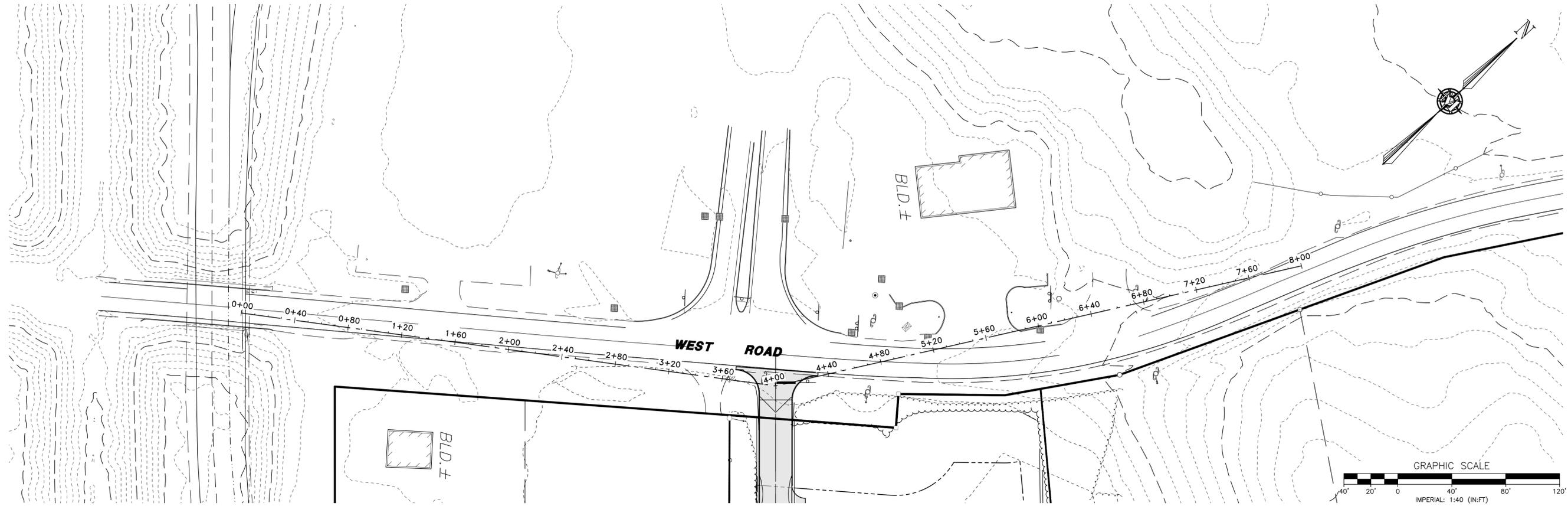
CONCEPTUAL CONDOMINIUM
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 SIGHT DISTANCE PLAN & PROFILE
 JUNE 3, 2025

114 WEST ROAD, LLC
 114 WEST ROAD
 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 20'

SD-2
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 FILE: 12609POE.dwg
 PROJECT 12609.00
 SHEET NO. 2 OF 3

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HILDRETH'S FARM
 DEVELOPMENT
 SIGHT DISTANCE PLAN & PROFILE
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 MAP 248 LOT 8
 CANTERBURY, NEW HAMPSHIRE
 SCALE: 1" = 40'

SD-3
 SHEET
 FILE: 12609POOE.dwg
 PROJECT 12609.00
 SHEET NO. 3 OF 3